

# SITE PLAN

## BYRAM MUNICIPAL COMPLEX

### 10 MANSFIELD DRIVE

#### LOT 16.01 BLOCK 365

#### BYRAM TOWNSHIP

#### SUSSEX COUNTY, NEW JERSEY

BLOCK	LOT	OWNER NAME & ADDRESS
364.01	2.01	PREGNO, WILLIAM & SANDRA 68 LACKAWANNA DR STANHOPE, NJ, 07874
364	4	TOWNSHIP OF BYRAM 10 MANSFIELD DR STANHOPE, NJ, 07874
365	11	MOLLINARY, RITA 46 LACKAWANNA DR STANHOPE, NJ, 07874
365	13.01	PURCELL, JOHNNIE 54 LACKAWANNA DR STANHOPE, NJ, 07874
365	17	CHEYENNE CORP (WILD WEST CITY) 50 LACKAWANNA DR STANHOPE, NJ, 07874
365	17.05	NUDOT PO BOX: 600 TRENTON, NJ, 08625
364.01	2.03	EKHELAR, MARTIN & CHRISTINE 70-A LACKAWANNA DR STANHOPE, NJ, 07874
365	15.06	DEJESUS, PAMELA 8 MANSFIELD DR STANHOPE, NJ, 07874
365	16	BOARD OF EDUCATION 12 MANSFIELD DR STANHOPE, NJ, 07874
365	13.02	ANDROSKY, ROBERT & PATRICIA 56 LACKAWANNA DR STANHOPE, NJ, 07874
365	15.02	VAN TUN, NANCY & ANDROSKY, STACIE 4 MANSFIELD DR STANHOPE, NJ, 07874
365	12	HARRIS, BETTY Y 52 LACKAWANNA DR STANHOPE, NJ, 07874
365	15.04	HUNSINGER, JENNY L & MYERS, JAMES 64 LACKAWANNA DR STANHOPE, NJ, 07874
365	14	LING, JEFFREY 60 LACKAWANNA DR STANHOPE, NJ, 07874
365	15.05	FISHER, ANTHONY 62 LACKAWANNA DR STANHOPE, NJ, 07874
364.01	1	COLACURCIO, MICHAEL JR & NELLIE 1 MANSFIELD DR STANHOPE, NJ, 07874
365	15.01	FOSTER, MARK & JANELLE 6 MANSFIELD DR STANHOPE, NJ, 07874

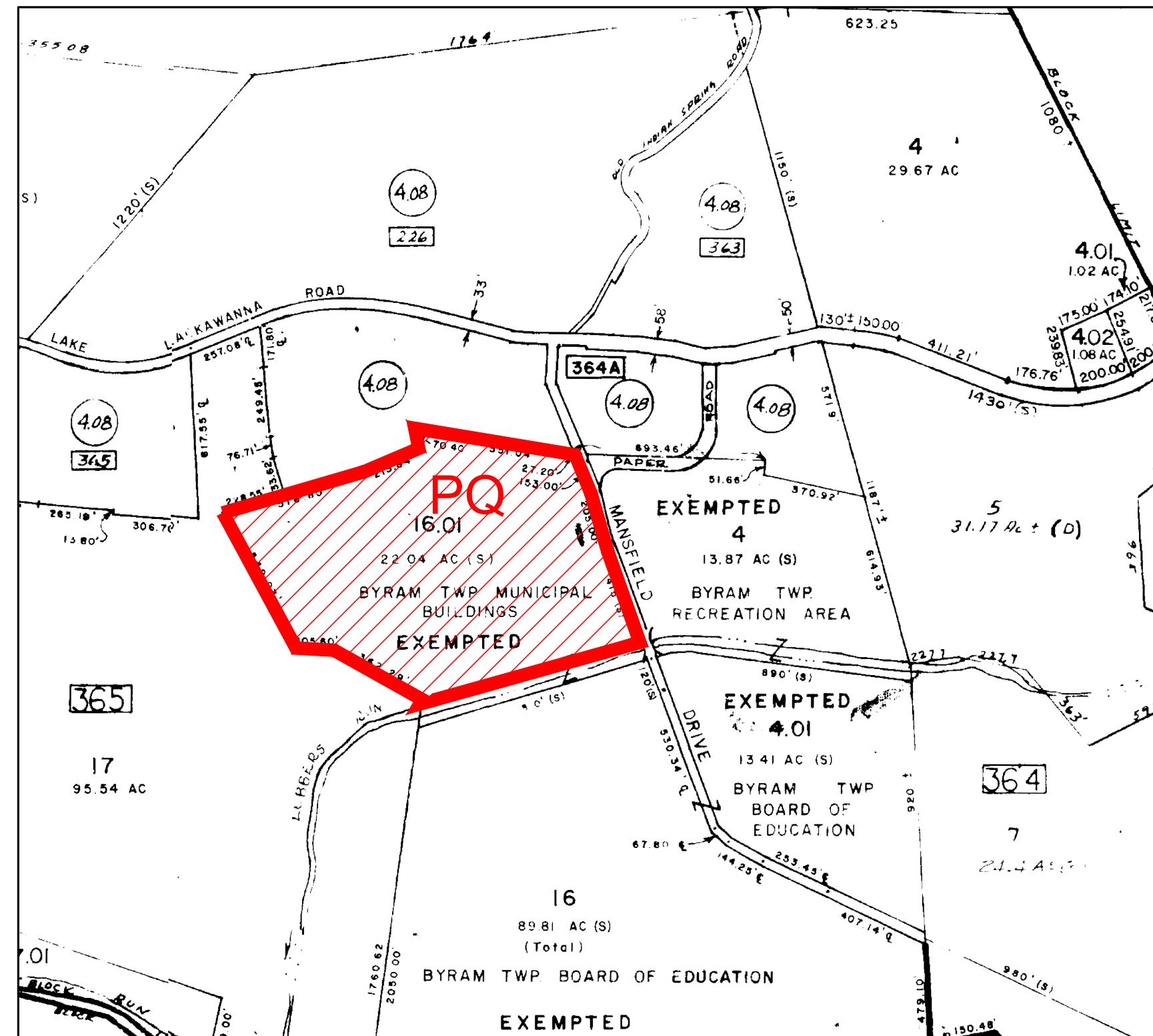
**UTILITY COMPANIES**

JCP&L  
PO BOX 1911  
MORRISTOWN, NJ, 07962

PSE&G  
80 PARK PLAZA  
NEWARK, NJ, 07102

VERIZON  
540 BROAD STREET, ROOM 1705  
NEWARK, NJ, 07102

ELECTRIC CABLE SERVICE  
320 SPARTA AVENUE  
SPARTA, NJ, 07871



**TAX MAP**  
SCALE: 1" = 50'



**LOCATION MAP**  
SCALE: 1" = 200'

**REFERENCES:**

- SUBJECT PROPERTY KNOWN AS BLOCK 365, LOT 16.01 AS SHOWN ON THE TOWNSHIP OF BYRAM TAX MAP, SHEET 5 DATED JUNE 2006 AND REVISED THROUGH JULY 2021.
- BOUNDARY INFORMATION IS TAKEN FROM A BOUNDARY SURVEY PREPARED BY THE NADER GROUP, DATED JANUARY 20, 2022.
- ARCHITECTURAL FOOTPRINTS ARE TAKEN FROM ARCHITECTURAL PLANS PREPARED BY THE NADER GROUP, DATED AUGUST 1, 2023.

**GENERAL NOTES:**

- CONTRACTOR TO CALL 1-800-272-1000 "CALL BEFORE YOU DIG" PRIOR TO THE START OF WORK.
- CONTRACTOR TO VERIFY THE LOCATION OF EACH RESPECTIVE UTILITY AND DEPTH PRIOR TO CONSTRUCTION.
- TEST PITS SHALL BE PERFORMED PRIOR TO CONSTRUCTION TO IDENTIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES IN ORDER TO PROVIDE SERVICE TO THE NEW BUILDINGS OR INSTALL PROPOSED UTILITIES.
- CLEANOUTS SHOULD BE INSTALLED AT ALL BENDS IN THE LEADER DRAIN SYSTEM.
- ALL PROPOSED UTILITIES TO BE LOCATED UNDERGROUND.
- PROVIDE INLET PROTECTION ON ALL PROPOSED INLETS AND THOSE AFFECTED BY OVERLAND FLOW DURING CONSTRUCTION.
- ALL PROPOSED ITEMS TO BE CONSTRUCTED AS SPECIFIED OR APPROVED EQUAL.
- SHOP DRAWINGS AND SPECIFICATIONS ON ALL CONSTRUCTED ITEMS TO BE PROVIDED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- IN LOCATIONS OF PROPOSED PIPES IN EXISTING PAVEMENT, SAW CUT EXISTING PAVEMENT, TRENCH, INSTALL PIPE W/ BEDDING, BACKFILL, PAVE, PROTECT TRENCH W/ PLATES DURING CONSTRUCTION. TRENCH NOT TO BE LEFT OPEN DURING CONSTRUCTION.
- ELEVATION SHOWN ON THESE PLANS ARE IN NAVD 88.
- TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN ARE PROVIDED BY EXISTING TOWNSHIP TOPOGRAPHY AND SUPPLEMENTED BY FIELD SURVEY PERFORMED BY THE NADER GROUP IN 2021.
- THESE PLANS ARE NOT ISSUED FOR CONSTRUCTION UNLESS THEY HAVE A RAISED SEAL AND ARE INDICATED IN THE REVISED BLOCK TO BE ISSUED FOR CONSTRUCTION.

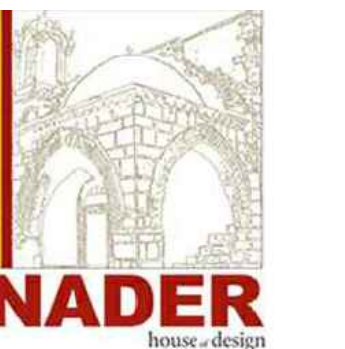
**INDEX OF SHEETS**

SHEET	DESCRIPTION
C-100	COVER SHEET
S-100	BOUNDARY AND TOPOGRAPHIC SURVEY
C-101	EXISTING CONDITIONS
C-200	LAYOUT PLAN
C-201	IMPERVIOUS COVERAGE
C-202	REGULATED MOTOR VEHICLE SURFACE PLAN
C-203	RIPARIAN ZONE COMPENSATION PLAN
C-204	WETLANDS TRANSITION AREA IMPACT PLAN
C-300	GRADING PLAN
C-301	ROAD PROFILE
C-400	UTILITY PLAN
C-401	UTILITY PROFILES
C-500	SOIL EROSION AND SEDIMENT CONTROL PLAN
C-600	LIGHTING AND LANDSCAPING PLAN
C-601	SECURITY CAMERA LOCATION PLAN
C-901 C-902 C-903 C-904 C-905	DETAILS



IT'S THE LAW - NEW JERSEY ONE CALL  
DIAL 811  
BEFORE YOU DIG ANYWHERE IN  
NEW JERSEY CALL 1-800-272-1000  
FOR FREE MARKOUTS TO LOCATE UNDERGROUND UTILITIES

**BYRAM MUNICIPAL COMPLEX**  
10 MANSFIELD DRIVE - BLOCK 365 LOT 16.01  
BYRAM TOWNSHIP (TAX MAP SHEET #5)  
SUSSEX COUNTY NEW JERSEY



**THE NADER GROUP, LLC**  
Engineers, Surveyors & Designers  
111 Mill Street  
Hackettstown, NJ 07840  
p.908.850.3500 | f.908.441.5803  
e. wassim.nader@thenadergroup.com  
www.naderhouseofdesign.com  
**CERTIFICATE OF AUTHORIZATION**  
No. 24GA28213500

**WASSIM Y. NADER, P.E.**  
**N.J. PROFESSIONAL ENGINEER LICENSE**  
No. 24GE03665000  
CAUTION: THIS DOCUMENT MUST CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL TO BE AN AUTHORIZED ORIGINAL

8	08/01/23	FINAL COORDINATION
7	06/20/23	CONFIRM FPA LIMITS
6	11/15/22	CONFIRM FPA LIMITS
5	7/28/22	COORDINATION REVISIONS
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3	3/14/21	REVISED PER CLIENT COMMENTS
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No.	DATE	REVISION
DRW BY:	MC	
SCALE:	AS SHOWN	
DATE:	MAY 14TH, 2021	
JOB No.	18.TNG029	

COVER SHEET

DRAWING No.

**C-100**

**OWNER/APPLICANT:**  
**TOWNSHIP OF BYRAM**  
10 MANSFIELD DRIVE  
STANHOPE, N.J. , 07874





NOTES & REFERENCES:

- SUBJECT PROPERTY KNOWN AS BLOCK NO. 365 LOT NO. 16.01 (10 MANSFIELD DRIVE, BYRAM TOWNSHIP, COUNTY OF SUSSEX, NEW JERSEY) AS SHOWN ON TOWNSHIP OF BYRAM TAX MAP SHEET NO. 4 DATED ON OCTOBER 1 1961.
- THE BASIS OF BEARINGS FOR THIS PLAT IS THE NJSPCS-NAD83. THE VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
- SUBJECT TO EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH A FULL TITLE SEARCH MIGHT DISCLOSE.
- A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C.14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:40-5.1(D).
- DEED REFERENCE: (BLOCK NO. 365 LOT NO. 15.06) DEED BOOK 3495 PAGE 873, DATED SEPTEMBER 19, 2018.
- DEED REFERENCE: (BLOCK NO. 365 LOT NO. 15.01) DEED BOOK 3224 PAGE 918, DATED MARCH 20, 2009.
- DEED REFERENCE: (BLOCK NO. 365 LOT NO. 14) DEED BOOK 2447 PAGE 242, DATED NOVEMBER 23, 1999.
- DEED REFERENCE: (BLOCK NO. 365 LOT NO. 13.01) DEED BOOK 3405 PAGE 700, DATED OCTOBER 11, 2016.
- DEED REFERENCE: (BLOCK NO. 365 LOT NO. 13B) DEED BOOK 1073 PAGE 735, DATED AUGUST 27, 1981.
- DEED REFERENCE: (BLOCK NO. 365 LOT NO. 12) DEED BOOK 1090 PAGE 1169, DATED OCTOBER 15, 1982.
- DEED REFERENCE: (BLOCK NO. 365 LOT NO. 15.01) DEED BOOK 2383 PAGE 074, DATED JUNE 29, 1999.
- DEED REFERENCE: (BLOCK NO. 365 LOT NO. 15A) DEED BOOK 1933 PAGE 187, DATED JUNE 18, 1993.
- DEED REFERENCE: DEED BOOK 768 PAGE 821, DATED NOVEMBER 9, 1963.
- DEED REFERENCE: DEED BOOK 791 PAGE 1071, DATED AUGUST 5, 1965.
- DEED REFERENCE: DEED BOOK 776 PAGE 44, DATED JUNE 19, 1964.
- UTILITIES SHOWN ARE BASED ON SURFACE FEATURES ONLY.
- SEPTIC LOCATIONS INFORMATION FROM MAP ENTITLED "SANITARY SEWER SYSTEM, TOWNSHIP OF BYRAM, SUSSEX COUNTY, NEW JERSEY, BY CERENZIO & PANARO, P.C. DATED IN JANUARY 31, 1996, AND REVISED IN JUNE 11, 1997.

TO:

I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THIS MAP OR PLAN IS A RESULT OF A FIELD SURVEY MADE IN MAY 2021 BY ME OR UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS, NJAC 13:40-5.1 LAND SURVEYOR PREPARATION OF LAND SURVEYS".

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENT THE CONDITIONS FOUND AT AND AS OF THE DATE OF FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

THIS DECLARATION IS GIVEN SOLELY TO THE ABOVE NAMED PARTIES FOR THIS TRANSACTION ONLY AND IS NOT TRANSFERABLE EXCEPT AS FOLLOWS.

- TO THE TITLE INSURER, IF ANY, SO IT MAY INSURE TITLE TO THE PREMISES SHOWN HEREON.
- TO THE MORTGAGE HOLDER, IF ANY, THE DECLARATION SHALL SURVIVE TO ITS SUCCESSORS AND/OR ASSIGNS.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

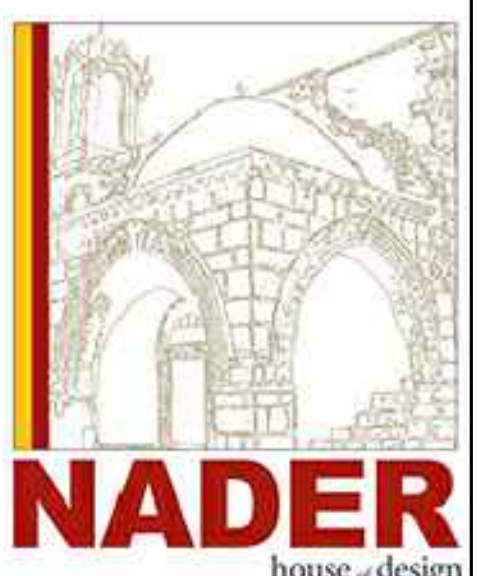
LEGAL DESCRIPTION:

- BEGINNING at an Iron Pin in the south side of Lubbers Run, on the division line between Lot 16.01, and Lot 17.05, and running thence;
- Coincident with said division line, North 31° 44' 42" West, a distance of 28.99 feet to a point in the centerline of Lubbers Run, thence;
  - Coincident with the centerline of Lubbers Run, South 76° 53' 34" West, a distance of 358.15 feet to a point in said centerline, thence;
  - Leaving said centerline of Lubbers Run and coincident with the division line between Lot 16.01, and Lot 17, South 39° 03' 16" West, a distance of 122.25 feet to an angle point in the West side of Lubbers Run, thence;
  - Still coincident with said division line, North 69° 02' 20" West, a distance of 537.40 feet to a concrete Monument and angle point in the division line between Lot 16.01, and Lot 17, thence;
  - Still coincident with said division line, and the division line between Lot 16.01 and Lots 12 and 13.01, North 31° 52' 36" East, a distance of 505.50 feet to an Iron Pipe at the intersection of the division line between Lot 13.01, and Lot 13.02, and the boundary of Lot 16.01, thence;
  - Coincident with the division line between Lot 16.01, and Lot 13.02, North 25° 32' 49" East, a distance of 225.75 feet to an Iron Pipe and angle point, thence;
  - Still coincident with said division line, North 51° 04' 27" West, a distance of 70.91 feet to an Iron Pin and corner of Lot 14, thence;
  - Coincident with the division line between Lot 16.01, and Lots 14 and 15.06 and passing over an Iron Pipe which is 26.02 feet on line from the terminus of this course North 57° 30' 14" East, a distance of 603.91 feet to a point in the centerline of Mansfield Drive, thence;
  - Coincident with said centerline, on a curve to the right having a radius of 1094.47 feet, an arc length of 175.74 feet, chord bearing being South 61° 16' 00" East, a distance of 175.55 feet, to a point, thence;
  - Still coincident with said centerline, South 57° 24' 07" East, a distance of 86.48 feet, to a point, thence;
  - Still coincident with said centerline, South 56° 34' 54" East, a distance of 152.29 feet, to a point, thence;
  - Still coincident with said centerline, South 56° 58' 03" East, a distance of 121.27 feet, to a point, thence;
  - Still coincident with said centerline, on a curve to the left having a radius of 2258.18 feet, an arc length of 221.68 feet, chord bearing being South 59° 07' 11" East, a distance of 221.59 feet, to a point, thence;
  - Coincident with the division line of Lot 16, and Lot 16.01 along a meandering line, parallel to and fifty feet from the southerly shore of Lubbers Run, a distance of 900 feet more or less, with a straight line closure bearing being, South 36° 06' 37" West, a distance of 846.80 feet, to a point witnessed by an Iron Pin 4.08 feet to the South, said point being a common corner of Lot 16.01, Lot 16, in the Easterly line of Lot 17.05, thence;
  - Coincident with the division line between Lot 16.01, and Lot 17.05, North 31° 44' 42" West, a distance of 42.40 feet, to the POINT and PLACE OF BEGINNING.

Containing a total of 1027666.76 sq. ft. or 23.59 acres more or less.

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
**BLOCK 365, LOT 16.01**  
**BYRAM MUNICIPAL COMPLEX**  
**10 MANSFIELD DRIVE**  
**TOWNSHIP OF BYRAM**  
**SUSSEX COUNTY NEW JERSEY**

CERTIFICATE OF AUTHORIZATION  
 No. 24GA28213500



MICHAEL W. KING, P.L.S.

*Michael W. King*

N.J. PROFESSIONAL SURVEYOR LICENSE  
 No. 24GS02748000  
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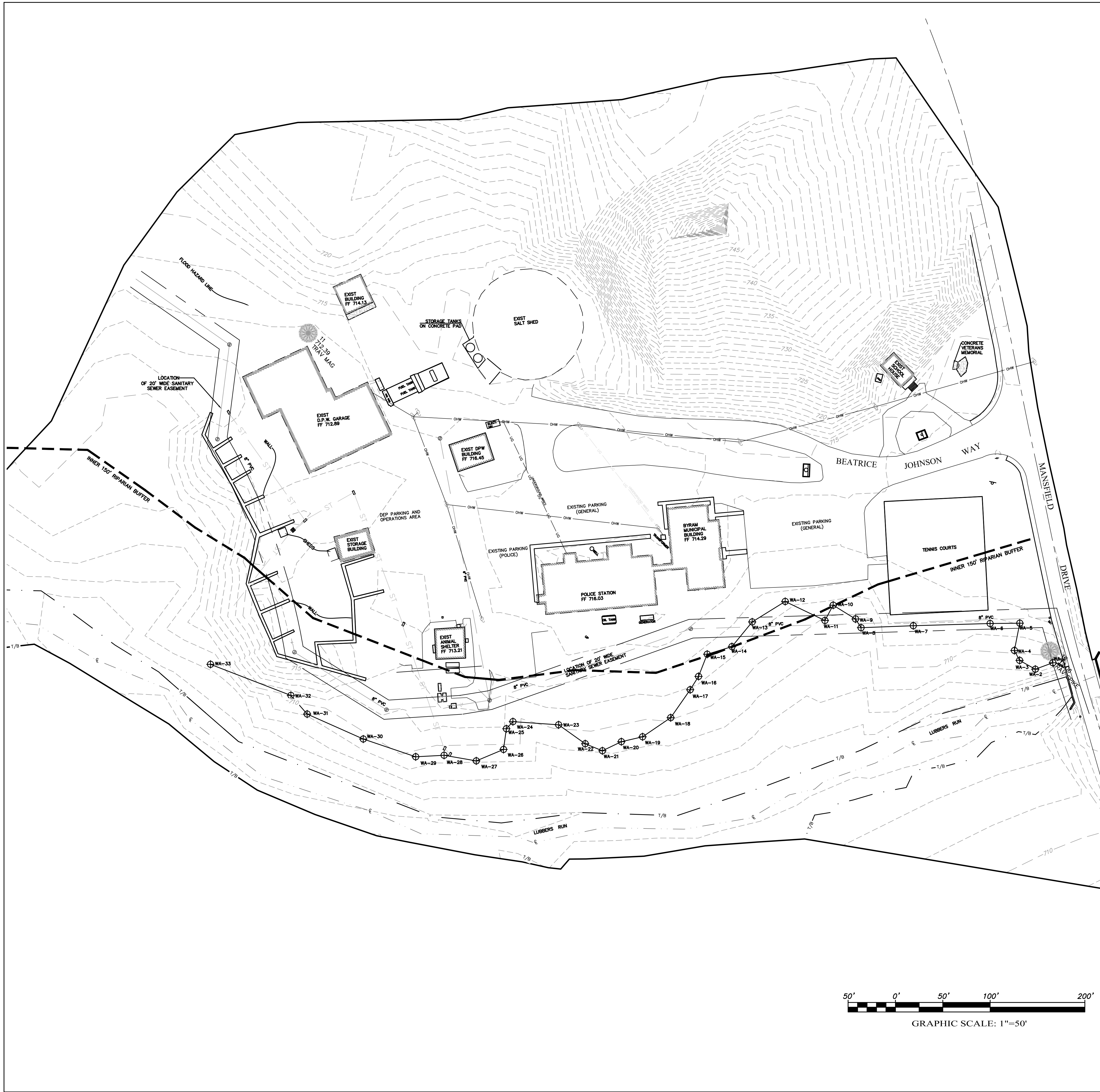
No.	DATE	REVISION

**BOUNDARY AND TOPOGRAPHIC SURVEY**

DRAWING No.

**S-100**





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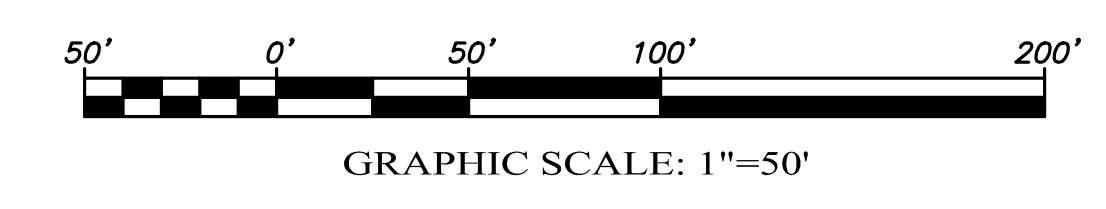
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**LEGEND:**

—	EXISTING STRUCTURE	—	EXISTING CONCRETE PAD/SIDWALK
- - -	EXISTING OVERHANG/EAVE	⊗	SOIL LOG
- - -	EXISTING MINOR CONTOUR	⊗	WETLAND MARKER
- - -	EXISTING MAJOR CONTOUR	⊗	EXISTING SANITARY SEWER
- - -	EXISTING CHAIN LINK FENCE	⊗	EXISTING SANITARY MANHOLE
- - -	EXISTING WOOD FENCE	⊗	EXISTING STORM SEWER
- - -	EXISTING CURB	⊗	EXISTING DRAINAGE MANHOLE
- - -	EXISTING OVERHEAD WIRE	⊗	EXISTING TYPE B INLET
⊗	EXISTING STONE WALL	⊗	EXISTING 2X2 INLET
⊗	EXISTING RETAINING WALL	⊗	EXISTING TYPE B INLET
⊗	EXIST WATER LINE	⊗	EXISTING TYPE A INLET
⊗	EXISTING UTILITY POLE	⊗	EXISTING WELL
		⊗	EXISTING SIGN
		⊗	FLOOD ZONE AE
		⊗	FLOOD ZONE X



**BYRAM MUNICIPAL COMPLEX**  
 10 MANSFIELD DRIVE - BLOCK 365 LOT 16.01  
 BYRAM TOWNSHIP (TAX MAP SHEET #5)  
 SUSSEX COUNTY NEW JERSEY

**THE NADER GROUP, LLC**  
 Engineers, Surveyors & Designers  
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 e. wassim.nader@thenadergroup.com  
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DRW BY: MC  
 SCALE: AS SHOWN  
 DATE: MAY 14TH, 2021  
 JOB No. 18.TNG029

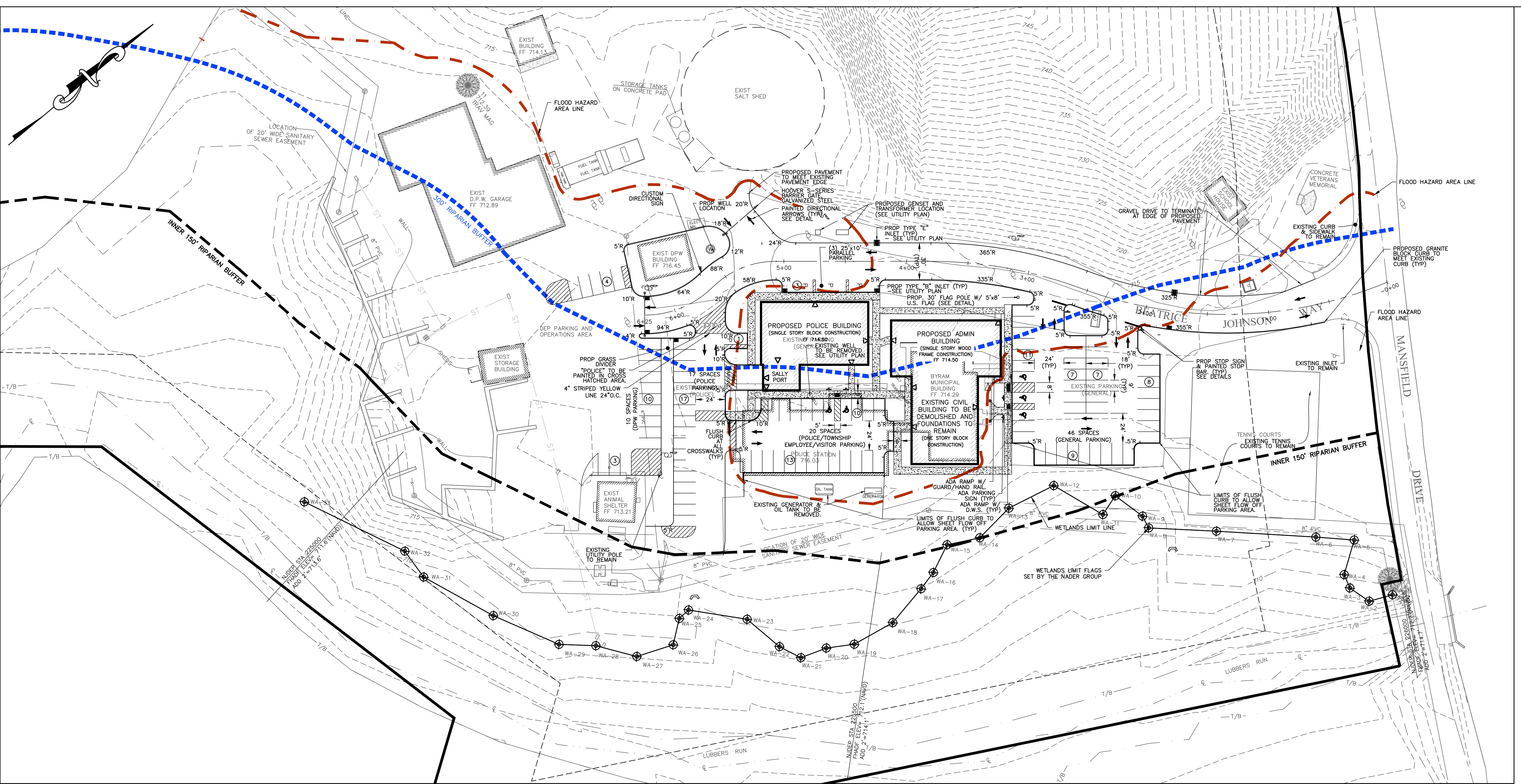
EXISTING CONDITIONS  
 DRAWING No. **C-101**



**BYRAM MUNICIPAL COMPLEX**  
 10 MANSFIELD DRIVE - BLOCK 365 LOT 16.01  
 BYRAM TOWNSHIP (TAX MAP SHEET #5)  
 SUSSEX COUNTY NEW JERSEY

**NADER**  
 house design  
 THE NADER GROUP, LLC  
 Engineers, Surveyors & Designers  
 111 Mill Street  
 Hackettstown, NJ 07840  
 p.908.850.3500 | f.908.441.5803  
 e.wasim.nader@thenadergroup.com  
 www.naderhouseofdesign.com  
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**1 LAYOUT PLAN**  
 C-200 SCALE: 1" = 40'



- LEGEND:**
- LOT 16.01 PROPERTY LINE
  - - - OFFSITE PROPERTY LINE
  - - - SETBACK BOUNDARY
  - ▨ EXISTING STRUCTURE
  - ▨ PROPOSED STRUCTURE
  - ROADWAY CENTERLINE
  - - - EXISTING MINOR CONTOUR
  - - - EXISTING MAJOR CONTOUR
  - - - EXISTING FENCE
  - - - PROPOSED FENCE
  - EXISTING CURB
  - PROPOSED CURB
  - PROPOSED FLUSH CURB
  - ⊙ EXISTING SANITARY MANHOLE
  - ⊙ EXISTING UTILITY POLE
  - ⊙ PROPOSED UTILITY POLE
  - EXISTING INLET
  - ▨ PROPOSED INLET
  - ⊙ EXISTING WELL
  - ⊙ PROPOSED WELL
  - ⊙ EXISTING MAINHOLE
  - ⊙ PROPOSED DRAINAGE MANHOLE
  - EXISTING CONCRETE PAD/SIDEWALK
  - ▨ PROPOSED CONCRETE PAD/SIDEWALK
  - △ PROPOSED DOOR LOCATION
  - ⊙ PROP PARKING COUNT
  - 300' RIPARIAN ZONE LINE
  - FLOOD HAZARD AREA LINE
  - CENTER LINE OF LUBBERS RUN
  - ▨ PROP LANDSCAPE WALL
  - WA-1 WA-33 WETLANDS LIMIT LINE
  - T/B TOP OF BANK LUBBERS RUN
  - INNER 150' RIPARIAN BUFFER

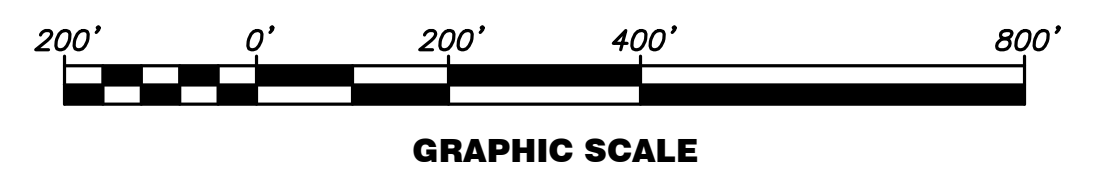
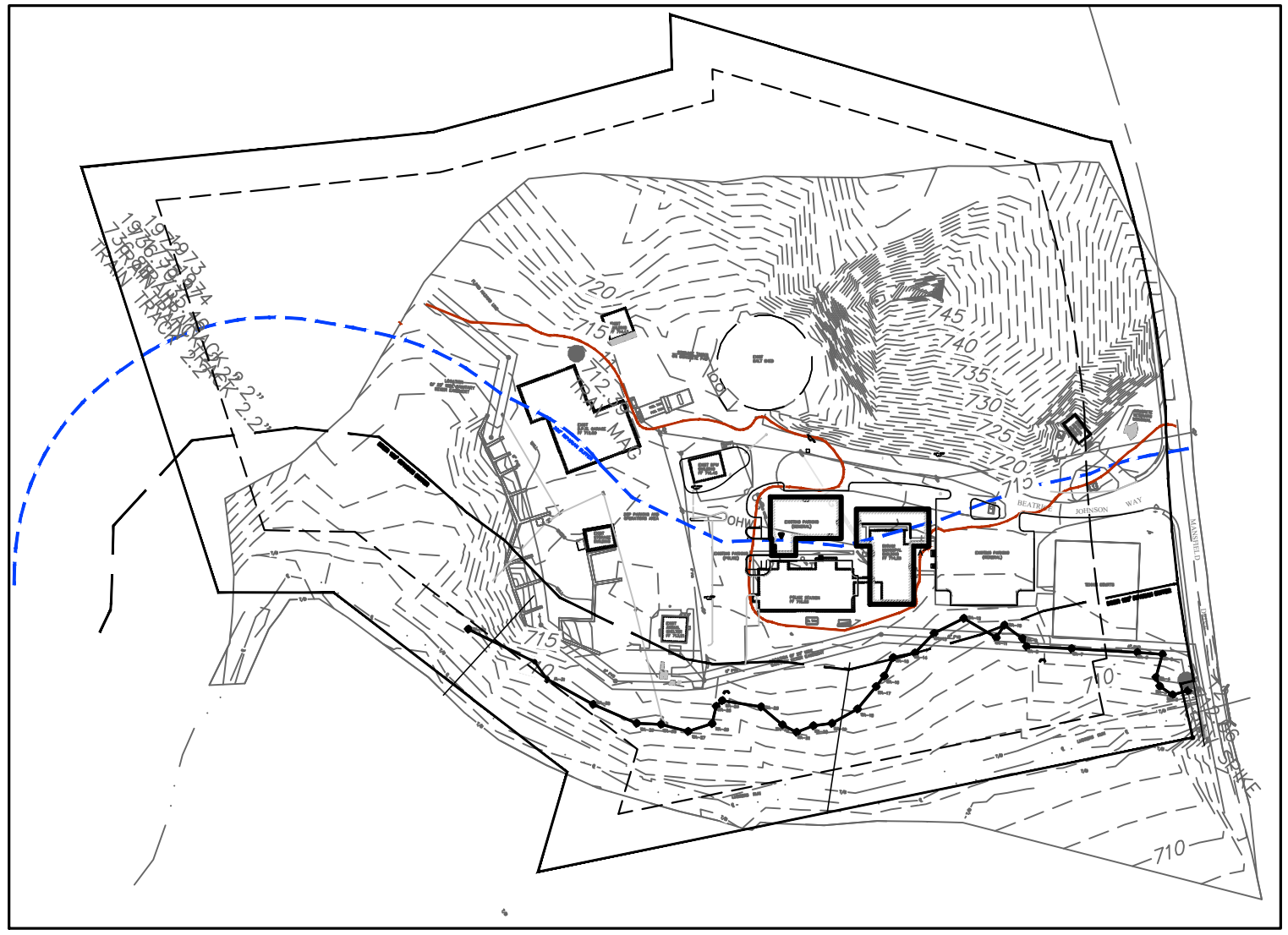
**PARKING REQUIREMENTS**  
 5 SPACE PER 1000 SF GFA (BASED ON SECTION 240-38 OF TOWN ORDINANCE - OFFICE PARK)  
 11,986.73 SF / 1000 SF = 11.98 X 5 = 12 X 5 = 60 SPACES  
 REQUIRED PARKING = 60 SPACES  
 PROVIDED PARKING = 96 SPACES  
**PARKING REQUIREMENTS FOR ACCESSIBLE PARKING SPACES- ADA STANDARDS 4.1.2(5)**  
 FOR PARKING LOTS PROVIDING BETWEEN 76 TO 100:  
 MINIMUM OF 4 ADA PARKING SPACES REQUIRED OF WHICH 1 PARKING SPACE SHALL BE VAN ACCESSIBLE WITH MIN. 96" WIDE ACCESS AISLE.  
 REQUIRED: 4 ADA PARKING SPACES  
 PROPOSED: 5 ADA PARKING SPACES

**REFERENCES**

- EXISTING ONSITE FEATURES AND TOPOGRAPHY BASED ON FIELD SURVEY COMPLETED BY THE NADER GROUP ON 03/31/21.
- LIMITS OF WETLANDS, LUBBERS RUN TOP OF BANK AND CENTER LINE ARE BASED ON FIELD SURVEY PERFORMED BY THE NADER GROUP ON 03/31/21
- EXISTING SANITARY LINE LOCATIONS AND EASEMENT ARE BASED ON SURVEY PERFORMED BY THE NADER GROUP ON 3/31/21.
- ELEVATIONS DEPICTED ON THIS PLAN ARE BASED ON VERTICAL DATUM NAVD 88.
- FLOOD HAZARD SHOWN IS TAKEN FROM NJDEP MAPPING FOR LUBBERS RUN, STATION 2186+20 TO 2270+00, BYRAM TOWNSHIP, SUSSEX COUNTY, NEW JERSEY. MAP BY ANDERSON-NICHOLS & CO, INC. DATED SEPTEMBER 1982, PLATE L-2.

**LOT 16.01 BLOCK 365 R-2 ZONING INFORMATION TABLE**

	REQUIRED	PROPOSED
		LOT 3.01
LOT AREA	5 ACRES	> 5 ACRES
FRONT YARD	100'	198.7'
SIDE YARD	50' (EACH)	183.0'
REAR YARD	75'	306.7'
LOT WIDTH (FRONTAGE)	200' MIN	757.8'
LOT DISTURBANCE	50% OR 40,000 SF MAX	22% / 222187.39 SF
BUILDING HEIGHT	2-1/2 STORIES OR 30' W/ 40' MAX HEIGHT OF FACADE	1-1/2 STORIES & 30'

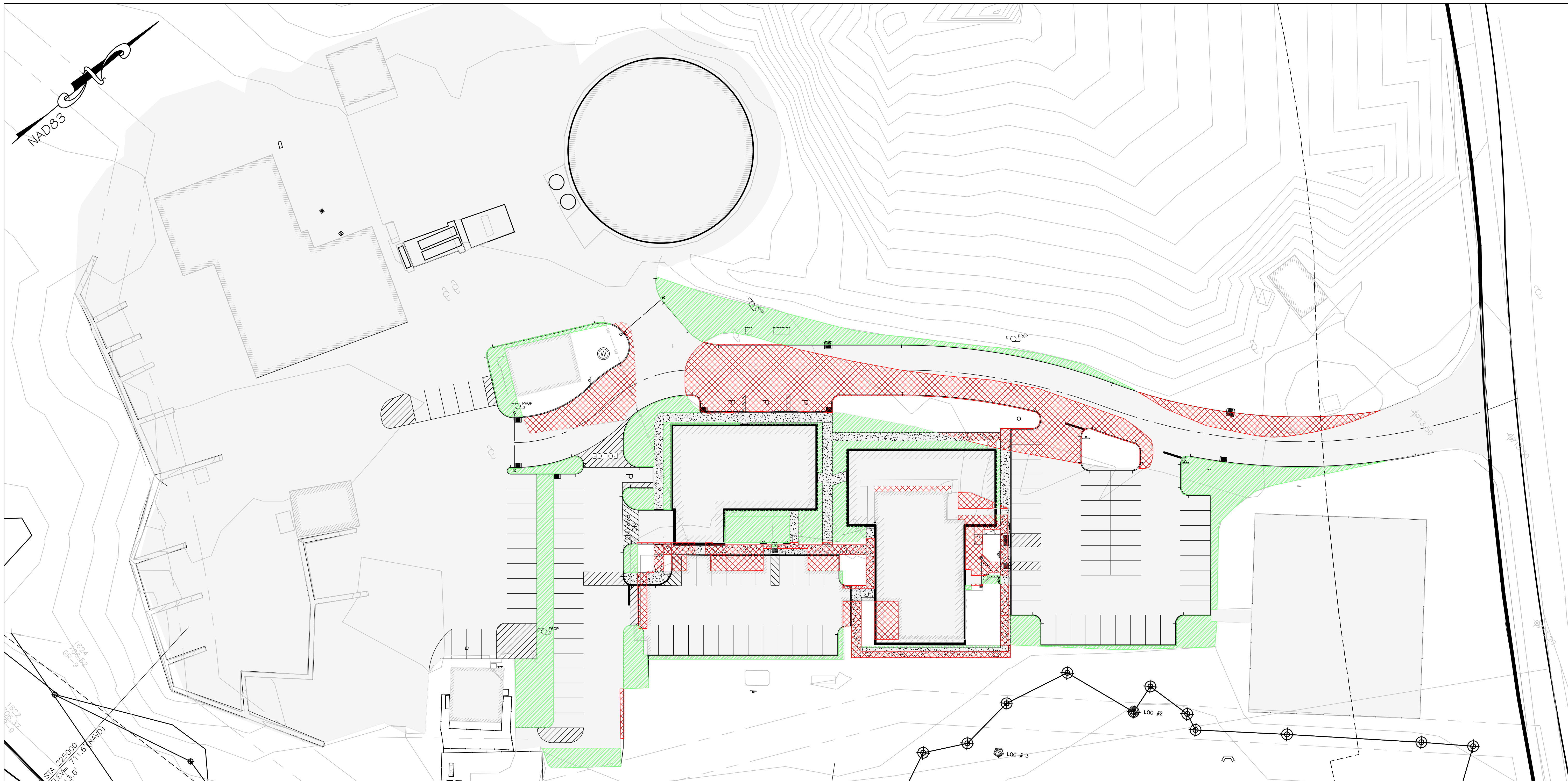


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1	5/27/21	CLIENT COMMENTS

LAYOUT PLAN  
 DRAWING No.  
**C-200**







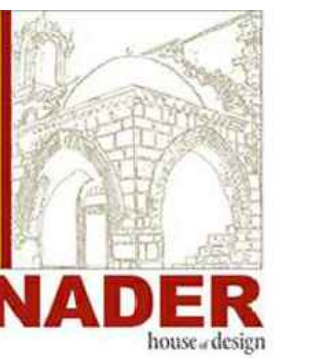
1 IMPERVIOUS COVERAGE PLAN  
C-201 SCALE: 1"=30'



LINE	SYMBOL	CATEGORY	SF / ACRES
1	[Grey Hatched]	EXISTING IMPERVIOUS AREA	201,637 SF / 4.63 ACRES
2	[Green Hatched]	EXISTING IMPERVIOUS AREA TO PROPOSED PERVIOUS AREA	14,461 SF / 0.33 ACRES
3	[Red Hatched]	EXISTING PERVIOUS TO PROPOSED IMPERVIOUS	14,135 SF / 0.33 ACRES
4	[None]	NET IMPERVIOUS	-326 SF

NET IMPERVIOUS = LINE 2 - LINE 3

**BYRAM MUNICIPAL COMPLEX**  
10 MANSFIELD DRIVE - BLOCK 365 LOT 16.01  
BYRAM TOWNSHIP (TAX MAP SHEET #5)  
SUSSEX COUNTY NEW JERSEY



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www.naderhouseofdesign.com

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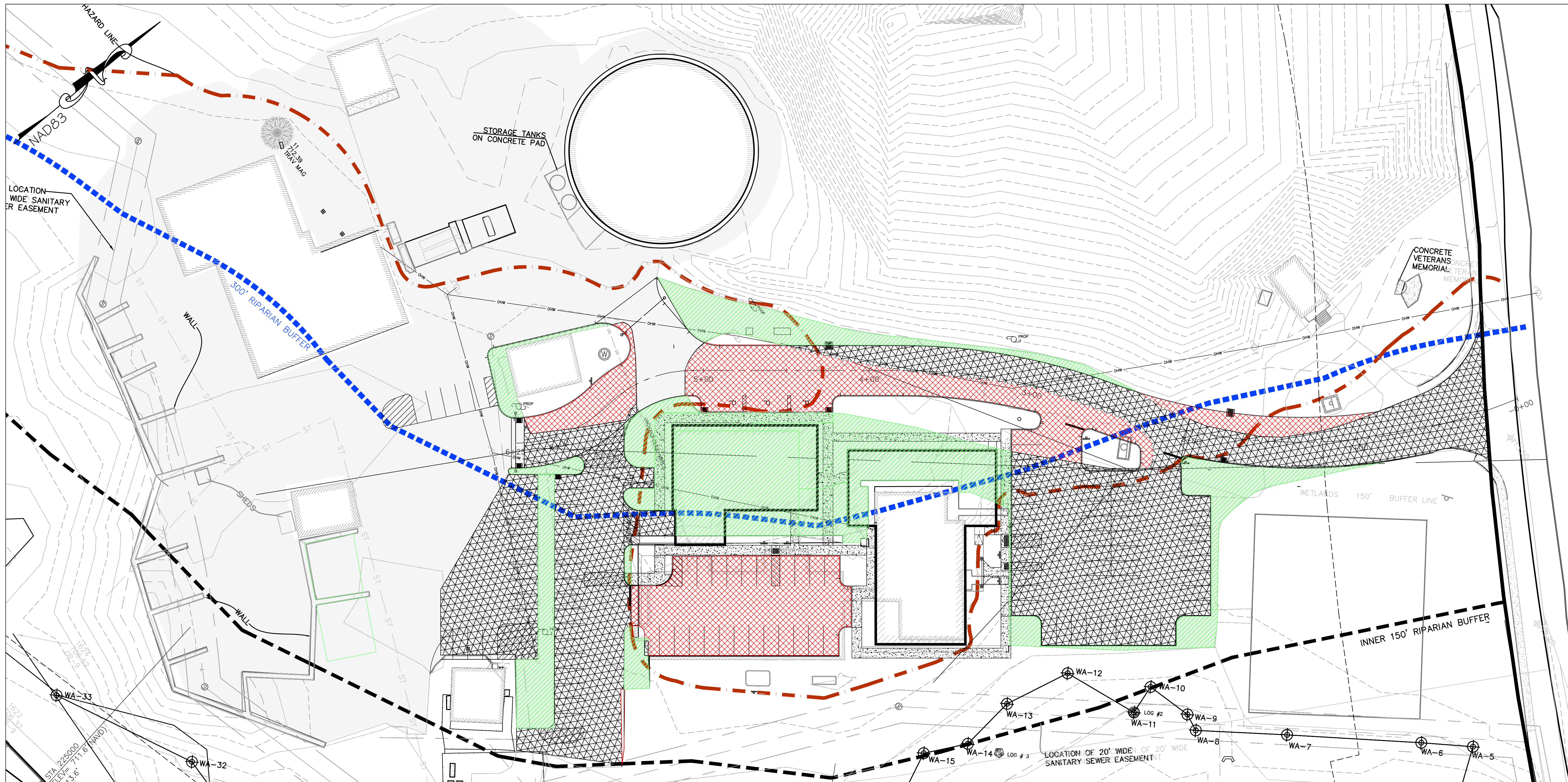
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DRW BY:	MC	
SCALE:	AS SHOWN	
DATE:	MAY 14TH, 2021	
JOB No.	18.TNG029	

IMPERVIOUS COVERAGE PLAN

DRAWING No.

**C-201**



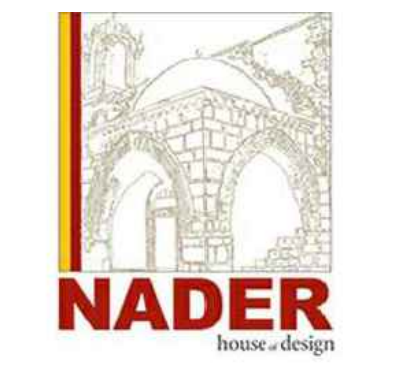


1 MOTOR VEHICLE SURFACE PLAN  
 C-202 SCALE: 1"=30'

MOTOR VEHICLE AREA CALCULATION TABLE		
SYMBOL	CATEGORY	SF / ACRES
	EXISTING REGULATED MOTOR VEHICLE SURFACE	-
	LIMITS OF EXISTING REGULATED MOTOR VEHICLE SURFACE TO BE MILLED AND REPAVED	36,495 SF / 0.84 ACRES
	LIMITS OF EXISTING REGULATED MOTOR VEHICLE SURFACE TO BE REMOVED.	22,084 SF / 0.51 ACRES
	LIMITS OF PROPOSED REGULATED MOTOR VEHICLE SURFACE	16,747 SF / 0.38 ACRES
	NET INCREASE IN REGULATED MOTOR VEHICLE SURFACE <sup>(1)</sup>	-5,337 SF / -0.13 ACRES

NOTES:  
 1. ACCORDING TO THE DEFINITION OF "DISTURBANCE" WITHIN THE NJAC SECTION 7:8-1.2 DEFINITIONS & TOWNSHIP OF BYRAM ORDINANCE, MILLING AND REPAVING IS NOT CONSIDERED DISTURBANCE.

**BYRAM MUNICIPAL COMPLEX**  
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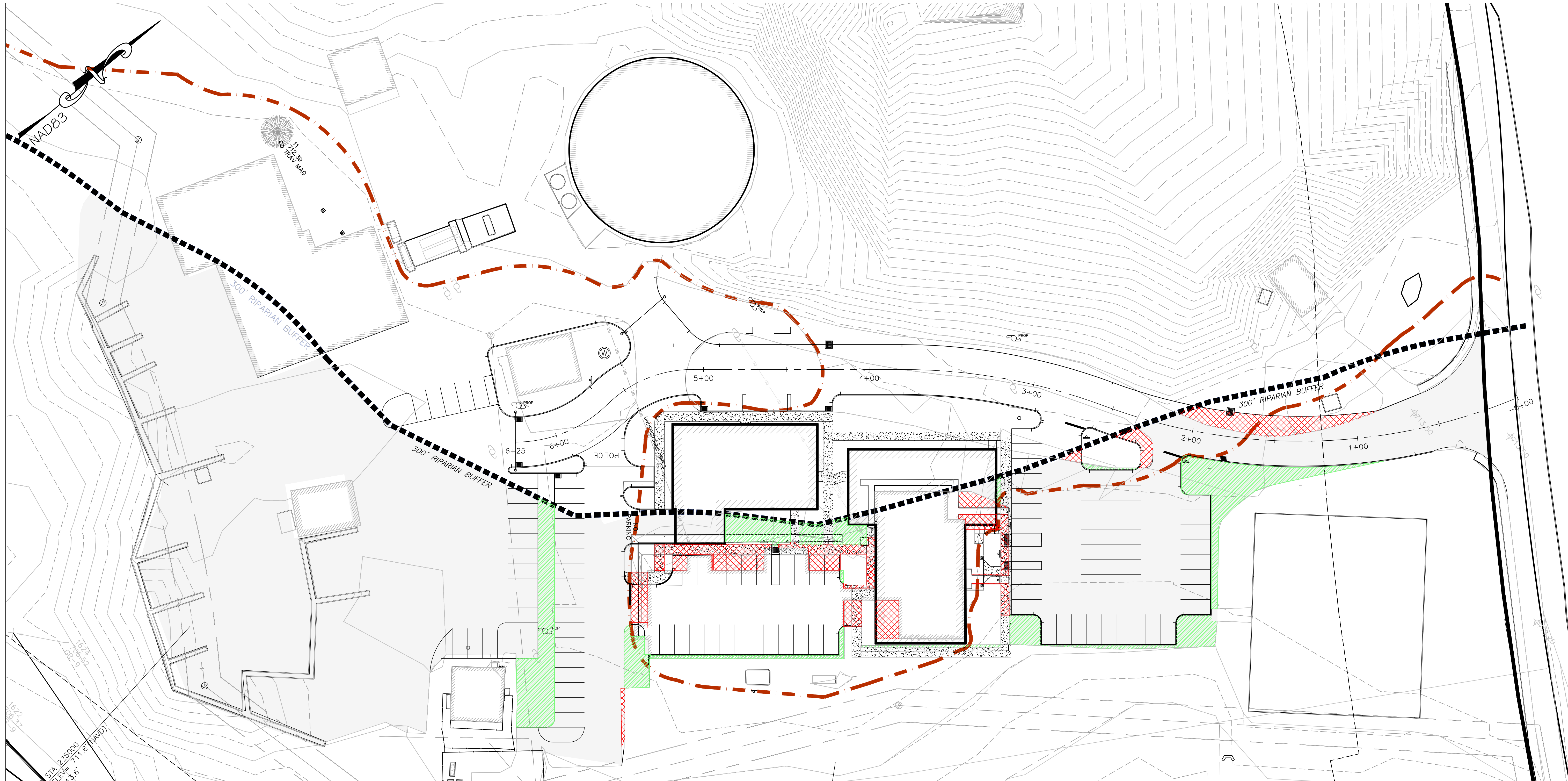
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JOB No. 18.TNG029		

REGULATED MOTOR VEHICLE SURFACE PLAN

DRAWING No.  
**C-202**





1 RIPARIAN COMPENSATION PLAN

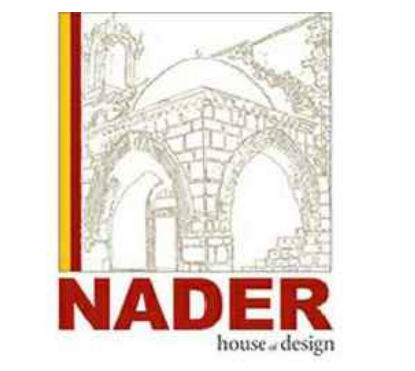
C-203 SCALE: 1"=30'

RIPARIAN BUFFER VEGETATION MITIGATION CALCULATION TABLE

SYMBOL	CATEGORY	SF / ACRES
	EXISTING REGULATED MOTOR VEHICLE SURFACE IN RIPARIAN BUFFER	-
	RIPARIAN BUFFER VEGETATION CREATED	6,546 SF / 0.15 ACRES
	RIPARIAN BUFFER VEGETATION REMOVED	4,347 SF / 0.10 ACRES
	NET INCREASE IN VEGETATED AREAS WITHIN THE RIPARIAN ZONE	2,199 SF / 0.05 ACRES

NOTES:  
 1. ACCORDING TO THE DEFINITION OF "DISTURBANCE" WITHIN THE NJAC SECTION 7:8-1.2 DEFINITIONS & TOWNSHIP OF BYRAM ORDINANCE, MILLING AND REPAVING IS NOT CONSIDERED DISTURBANCE.

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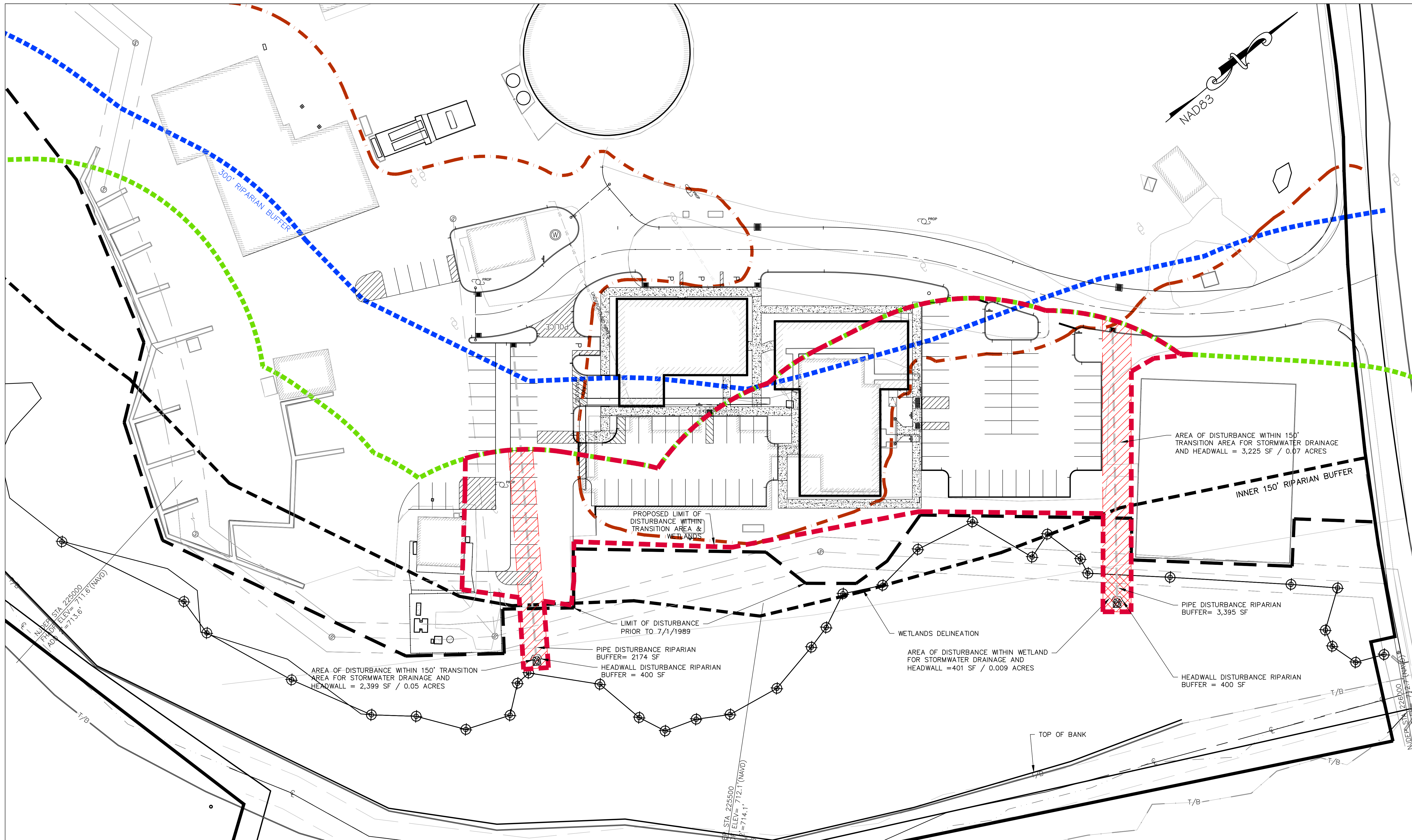
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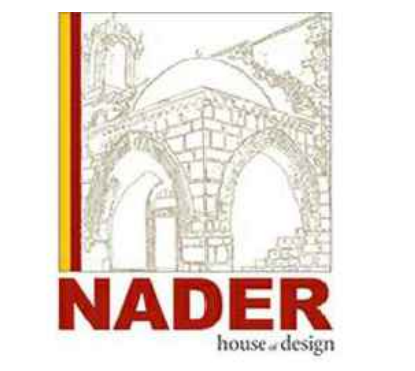
RIPARIAN ZONE COMPENSATION PLAN

DRAWING No.  
**C-203**





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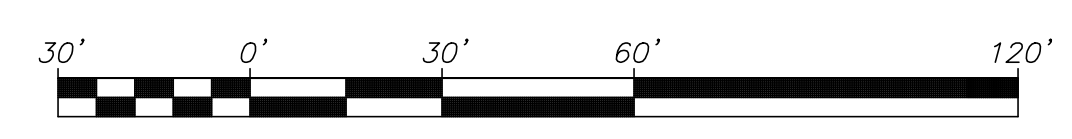
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WETLAND / RIPARIAN TRANSITION AREA IMPACT PLAN

DRAWING No.  
**C-204**

WETLAND TRANSITION AREA IMPACT PLAN  
 SCALE: 1"=30'



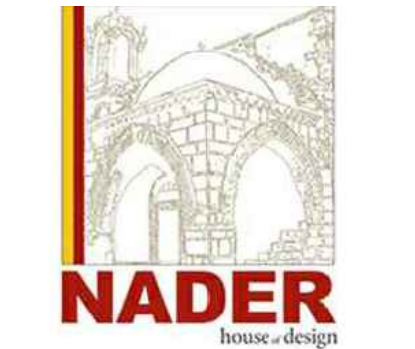
NOTE:  
 TOTAL RIPARIAN BUFFER DISTURBANCE FOR STORMWATER OUTFALL:  
 HEADWALL= 800 SF  
 PIPE= 5,569 SF

PER TABLE 11.2 ALLOWABLE DISTURBANCE IS:  
 HEADWALL= 2,000 SF  
 PIPE= 6,000 SF

- LEGEND:**
- WETLAND DISTURBANCE AREA FOR STORMWATER DISCHARGE
  - WETLAND TRANSITION AREA DISTURBANCE FOR STORMWATER DISCHARGE
  - PROPOSED LIMIT OF DISTURBANCE
  - 7/1/1989 LIMIT OF DISTURBANCE
  - 150' WETLANDS TRANSITION AREA LINE
  - WETLANDS BOUNDARY LINE



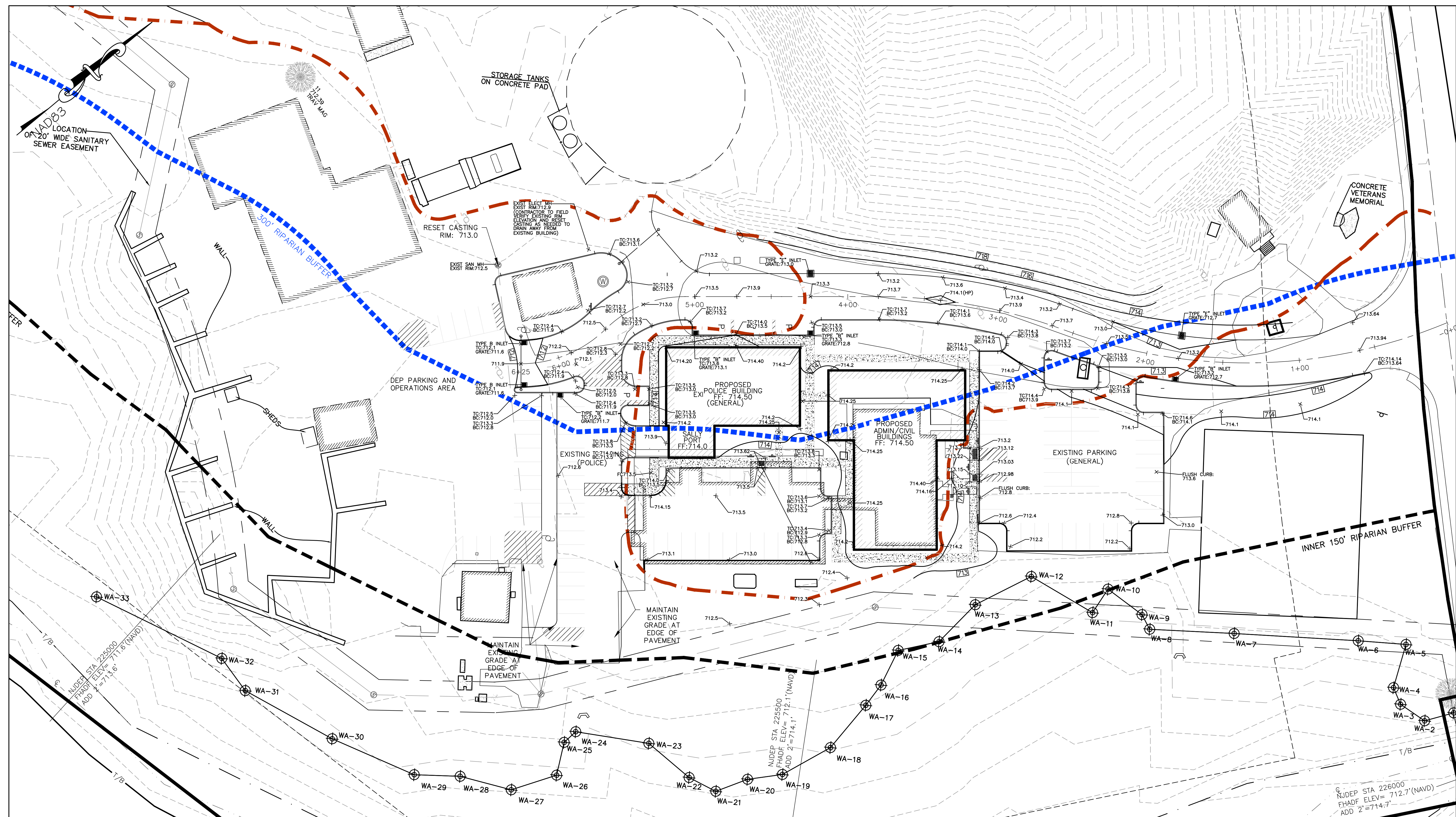
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GRADING PLAN  
 SCALE: 1"=30'



**LEGEND:**

- LOT 16.01 PROPERTY LINE
- - - OFFSITE PROPERTY LINE
- SETBACK BOUNDARY
- ▨ EXISTING STRUCTURE
- ▨ PROPOSED STRUCTURE
- ROADWAY CENTERLINE
- - - EXISTING MINOR CONTOUR
- - - EXISTING MAJOR CONTOUR
- Ⓜ PROPOSED MINOR CONTOUR
- Ⓜ PROPOSED MAJOR CONTOUR
- EXISTING FENCE
- ▭ PROPOSED FENCE
- EXISTING CURB
- ▭ PROPOSED CURB
- ▭ PROPOSED DEPRESSED CURB
- ⊙ EXISTING WELL
- ⊙ PROPOSED WELL
- ⊙ EXISTING MAINHOLE
- ⊙ PROPOSED DRAINAGE MANHOLE
- ▨ EXISTING CONCRETE PAD/SIDEWALK
- ▨ PROPOSED CONCRETE PAD/SIDEWALK
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING UTILITY POLE
- ⊙ PROPOSED UTILITY POLE
- ▭ EXISTING INLET
- ▭ PROPOSED INLET
- ▭ PROP LANDSCAPE WALL
- EXIST IMPERVIOUS AREA
- - - LIMIT OF ON-SITE TOPOGRAPHY

**REFERENCES:**

1. EXISTING ONSITE FEATURES AND TOPOGRAPHY BASED ON FIELD SURVEY COMPLETED BY THE NADER GROUP ON 03/31/21.
2. LIMITS OF WETLANDS, LUBBERS RUN, AND RIPARIAN ZONE ARE BASED ON FIELD SURVEY COMPLETED BY THE NADER GROUP ON 03/31/21.
3. FLOOD HAZARD AREA DELINEATION IS BASED ON FEMA FIRM PANEL 0412E, EFFECTIVE DATE 9/28/2011, MAP NUMBER 34037C0412E.
4. LIMITS OF PROPERTY LINE ARE BASED ON BYRAM TAX MAP SHEET 5 DATED JUNE 2006.
5. EXISTING SANITARY LINE LOCATIONS AND EASEMENT ARE BASED ON DRAWING OF RECORD ENTITLED "SANITARY SEWER SYSTEM TOWNSHIP OF BYRAM, SUSSEX COUNTY, NEW JERSEY, PLAN & PROFILE," PREPARED BY CERENZIO & PANARO, P.C. DATED JANUARY 1996 REVISED THOUGH 06/11/97.
6. ELEVATIONS DEPICTED ON THIS PLAN ARE BASED ON VERTICAL DATUM NAVD 88.

**NOTES:**

1. FLOOD HAZARD AREA LINE, 150' WETLAND TRANSITION AREA LINE, AND 200' RIPARIAN BUFFER LINE NOT SHOWN FOR CLARITY.



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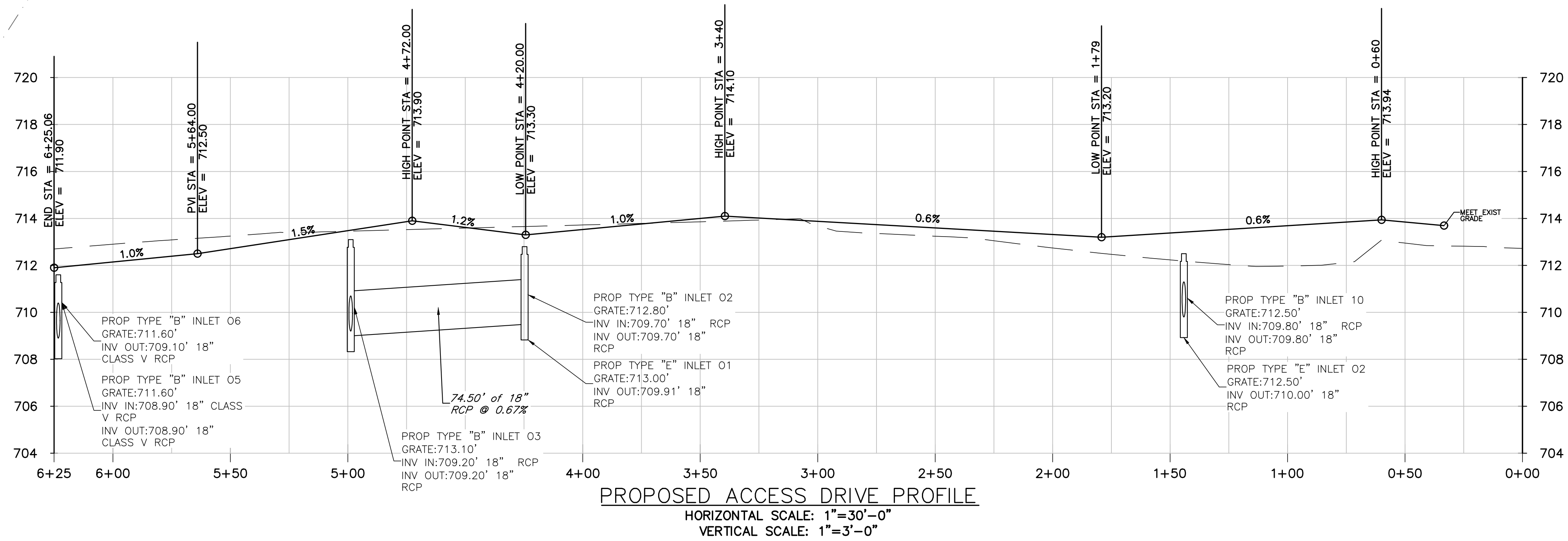
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GRADING PLAN

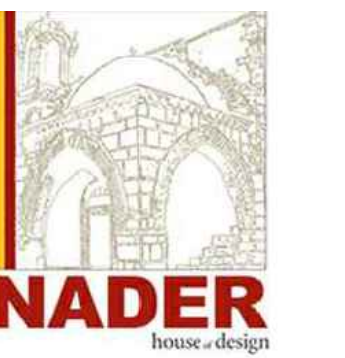
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 10 MANSFIELD DRIVE - BLOCK 365 LOT 16.01  
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 SUSSEX COUNTY NEW JERSEY



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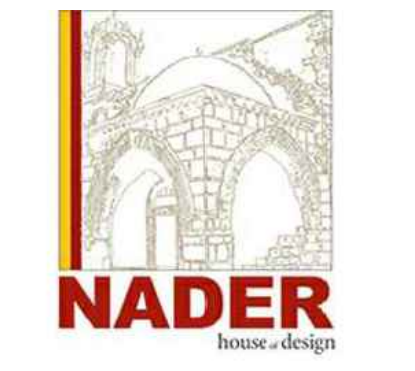
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DRAWING No.

**C-301**



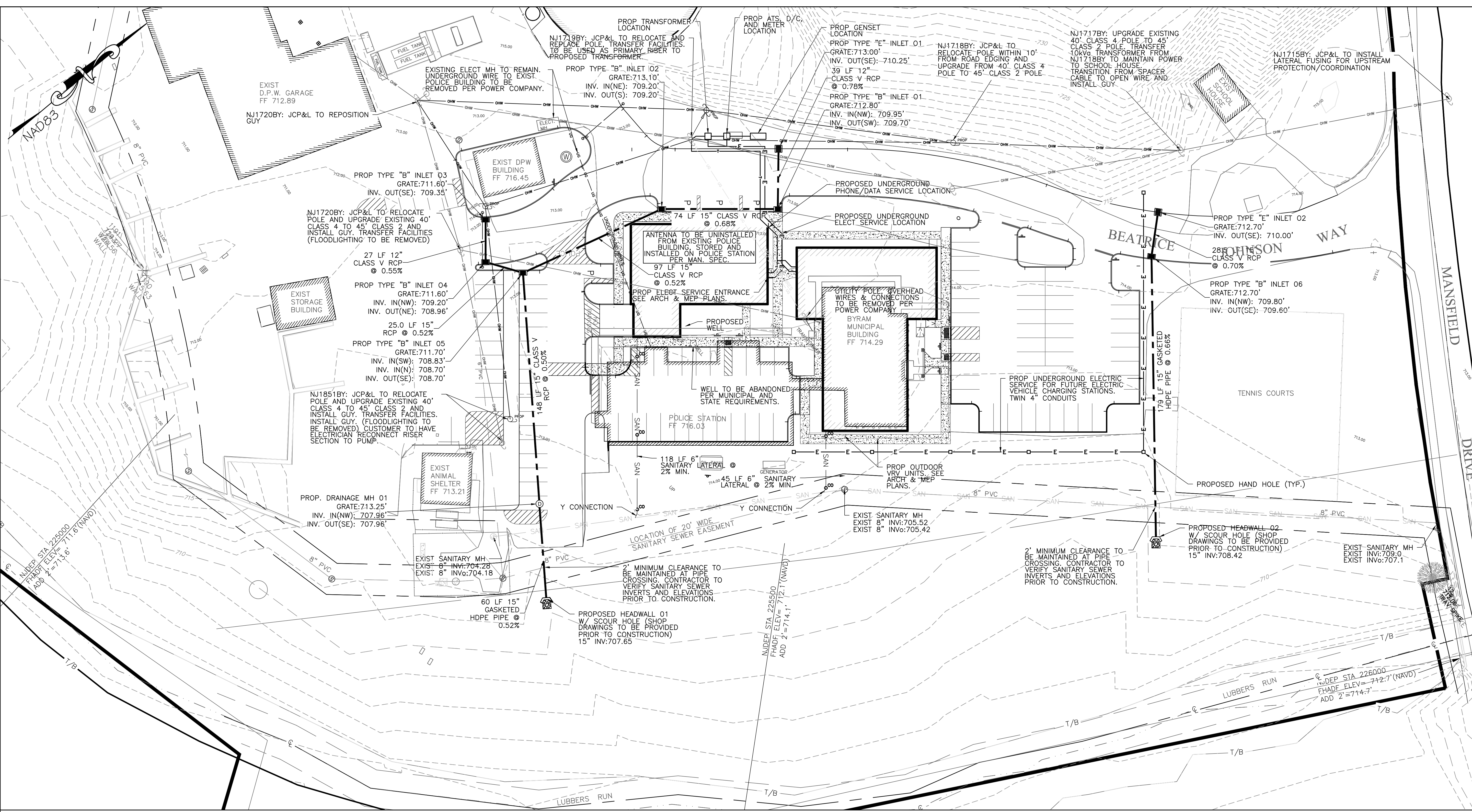
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**UTILITY PLAN**  
 C-400 SCALE: 1"=30'



**LEGEND:**

LOT 16.01 PROPERTY LINE	PROPOSED CONCRETE PAD/SIDEWALK	PROPOSED DRAINAGE PIPE	PROPOSED GASE VALVE
OFFSITE PROPERTY LINE	PROPOSED LANDSCAPE WALL	EXISTING ELECTRICAL SERVICE LOCATION	PROPOSED CLEANOUT
SETBACK BOUNDARY	EXISTING WELL	PROPOSED ELECTRICAL SERVICE LOCATION	
EXISTING STRUCTURE	PROPOSED WELL	PROPOSED PHONE/DATA SERVICE LOCATION	
PROPOSED STRUCTURE	EXISTING MAINHOLE	EXISTING OVERHEAD WIRE	
ROADWAY CENTERLINE	PROPOSED DRAINAGE MANHOLE	PROPOSED OVERHEAD WIRE	
EXISTING FENCE	EXISTING SANITARY MANHOLE	EXIST WATER LINE	
PROPOSED FENCE	PROPOSED SANITARY MANHOLE	PROPOSED WATER LINE	
EXISTING CURB	EXISTING UTILITY POLE	GAS EXISTING GAS LINE	
PROPOSED CURB	PROPOSED UTILITY POLE	GAS PROPOSED GAS LINE	
PROPOSED DEPRESSED CURB	EXISTING INLET	SAN EXISTING SANITARY SEWER	
EXIST IMPERVIOUS AREA	PROPOSED INLET	SAN PROPOSED SANITARY LINE	
LIMIT OF ON-SITE TOPOGRAPHY		EXIST WATER VALVE	
EXISTING CONCRETE PAD/SIDEWALK		PROPOSED WATER VALVE	
		EXIST GAS VALVE	

- REFERENCES:**
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  - ELEVATIONS DEPICTED ON THIS PLAN ARE BASED ON VERTICAL DATUM NAVD 88.
- NOTE:**  
 ROOF LEADERS TO BE CONNECTED TO STORM DRAIN SYSTEM.



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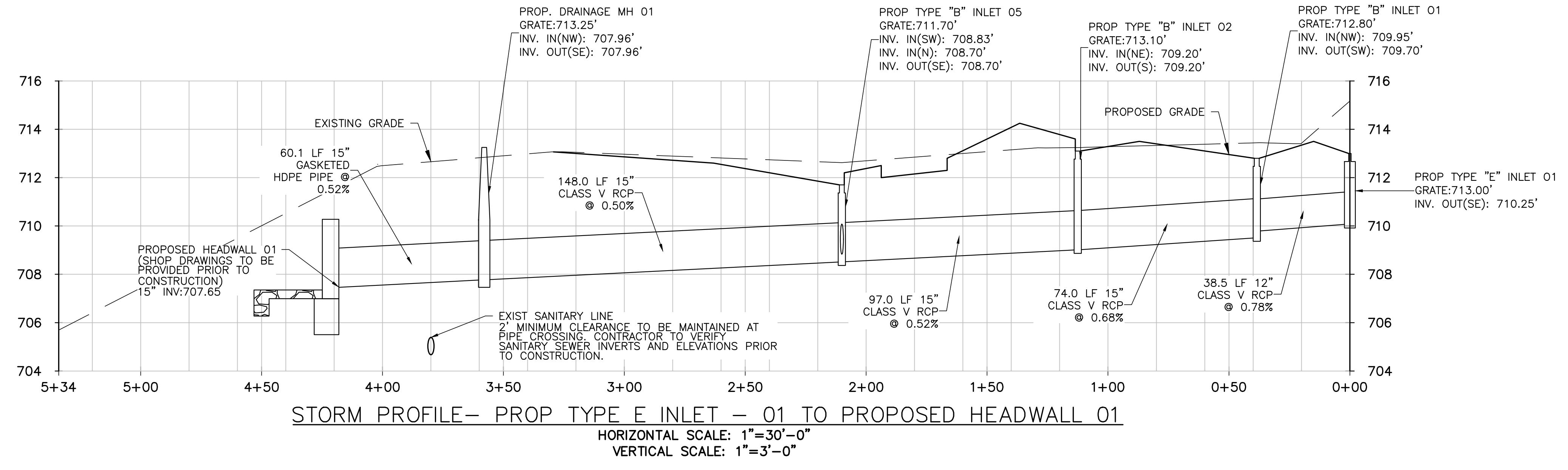
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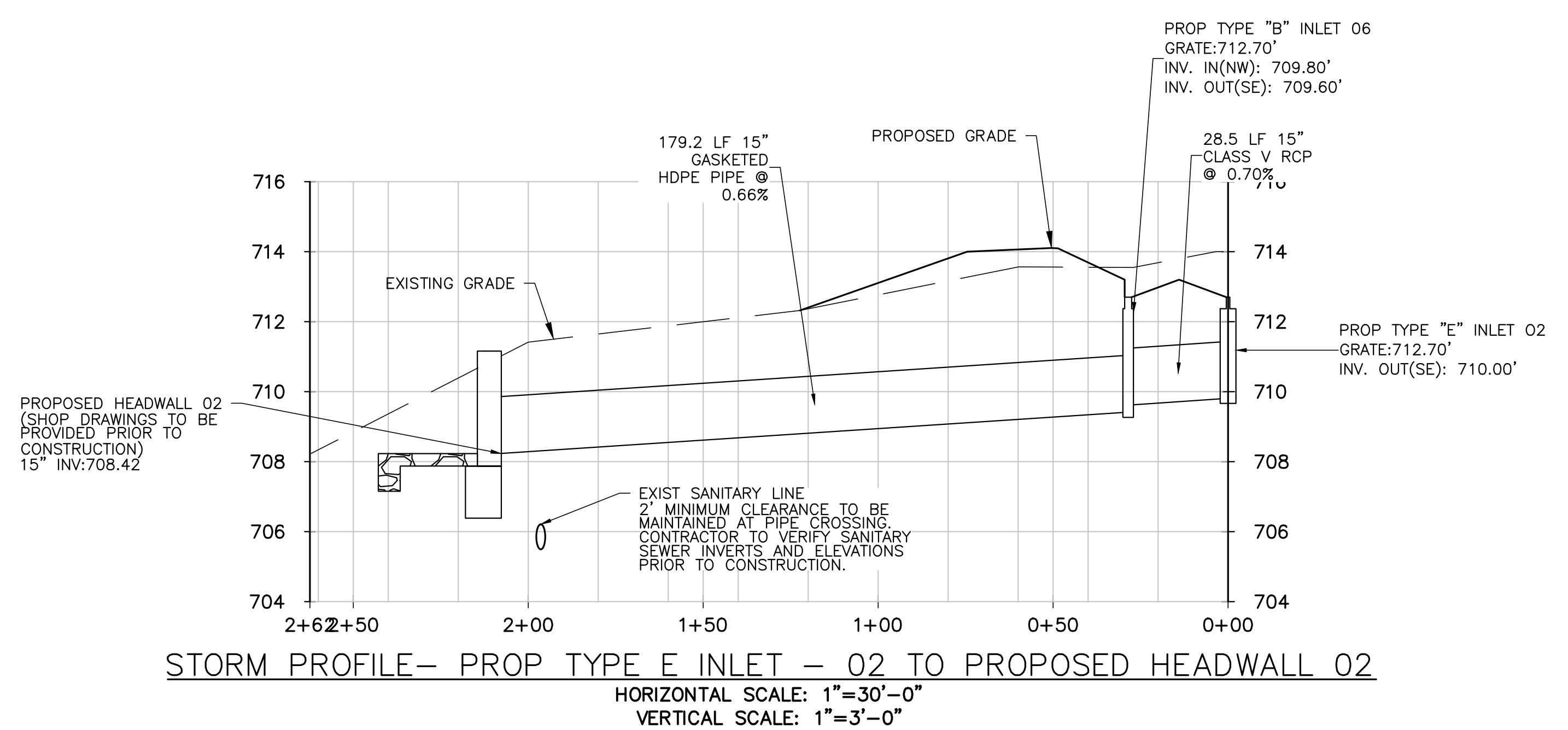
UTILITY PLAN  
 DRAWING No.  
**C-400**



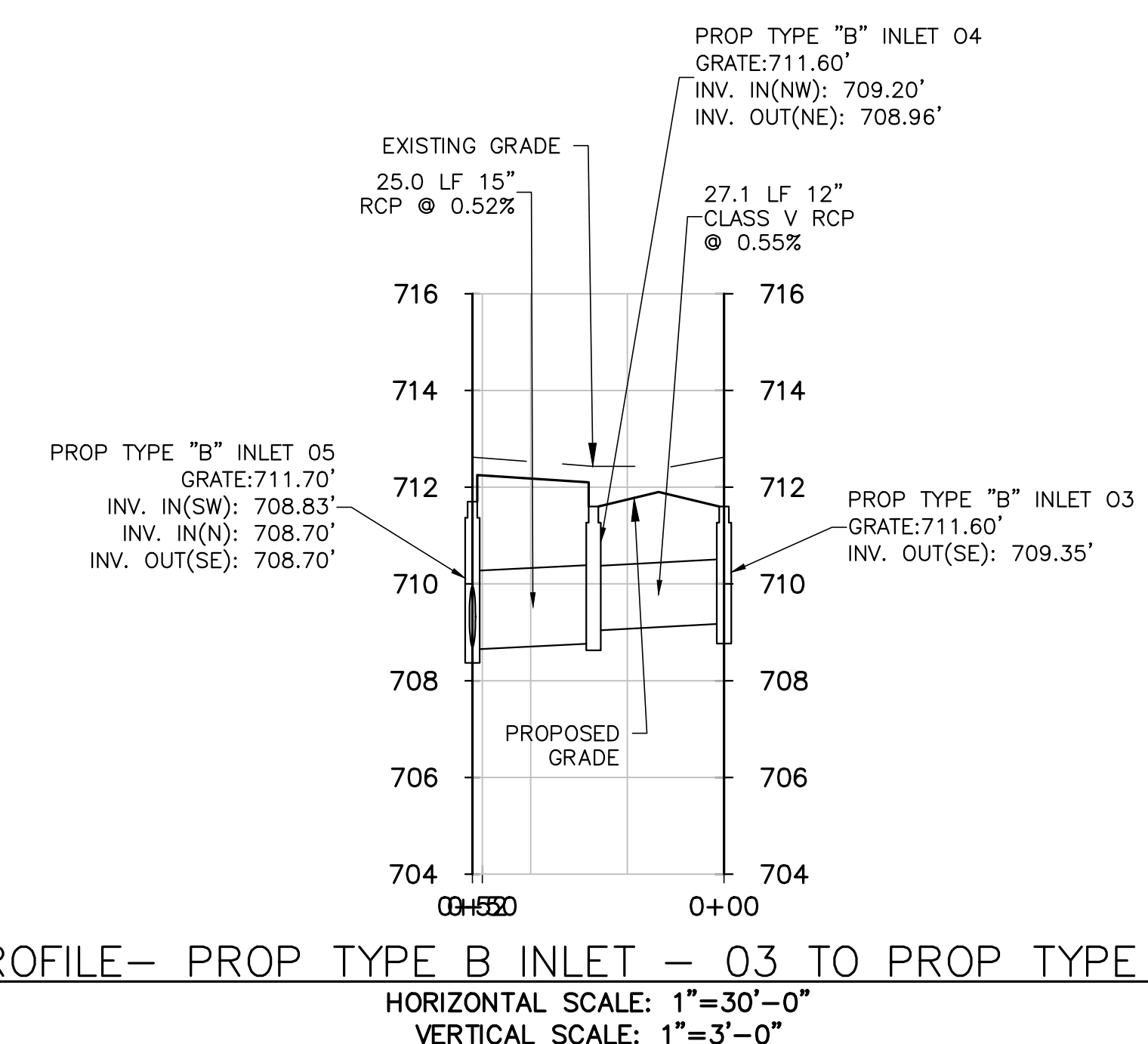
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**STORM PROFILE- PROP TYPE E INLET - 01 TO PROPOSED HEADWALL 01**  
 HORIZONTAL SCALE: 1"=30'-0"  
 VERTICAL SCALE: 1"=3'-0"



**STORM PROFILE- PROP TYPE E INLET - 02 TO PROPOSED HEADWALL 02**  
 HORIZONTAL SCALE: 1"=30'-0"  
 VERTICAL SCALE: 1"=3'-0"



**STORM PROFILE- PROP TYPE B INLET - 03 TO PROP TYPE B INLET 05**  
 HORIZONTAL SCALE: 1"=30'-0"  
 VERTICAL SCALE: 1"=3'-0"

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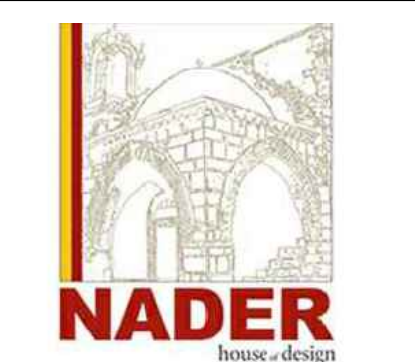


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UTILITY PROFILES  
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**C-401**



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 p.908.850.3500 | f.908.441.5803  
 e.wasim.nader@thenadergroup.com  
 www.naderhouseofdesign.com

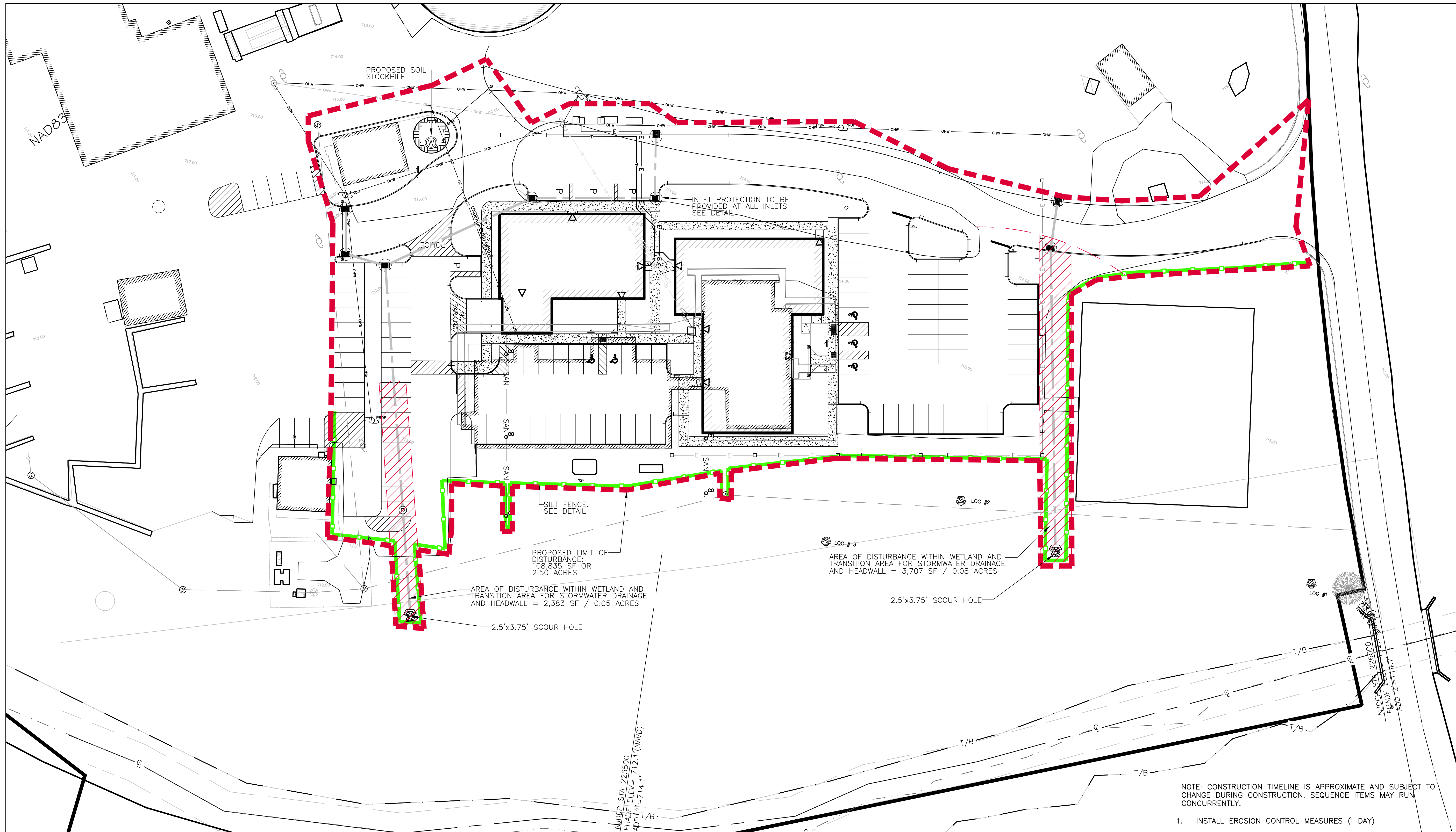
**CERTIFICATE OF AUTHORIZATION**  
 No. 24GA28213500

WASSIM Y. NADER, P.E.  
 N.J. PROFESSIONAL ENGINEER LICENSE  
 No. 24GE03665000  
 CAUTION: THIS DOCUMENT MUST CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL TO BE AN AUTHORIZED ORIGINAL.

No.	DATE	REVISION
8	08/01/23	FINAL COORDINATION
7	06/20/23	CONFIRM FTA LIMITS
6	11/15/22	CONFIRM FTA LIMITS
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4	5/5/22	ADDED DPW BUILDING
3	3/14/21	REVISED PER CLIENT COMMENTS
2	1/20/21	SUBMISSION FOR PERMITS
1	5/27/21	CLIENT COMMENTS

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

DRAWING No. **C-500**



**SOIL EROSION AND SEDIMENT CONTROL PLAN**  
 SCALE: 1"=30'

**LEGEND:**

<ul style="list-style-type: none"> <li>LOT 16.01 PROPERTY LINE</li> <li>OFFSITE PROPERTY LINE</li> <li>SETBACK BOUNDARY</li> <li>EXISTING STRUCTURE</li> <li>PROPOSED STRUCTURE</li> <li>ROADWAY CENTERLINE</li> <li>EXISTING FENCE</li> <li>PROPOSED FENCE</li> <li>EXISTING CURB</li> <li>PROPOSED CURB</li> <li>PROPOSED DEPRESSED CURB</li> <li>EXIST IMPERVIOUS AREA</li> <li>LIMIT OF ON-SITE TOPOGRAPHY</li> <li>EXISTING CONCRETE PAD/SIDEWALK</li> </ul>	<ul style="list-style-type: none"> <li>PROPOSED CONCRETE PAD/SIDEWALK</li> <li>PROP LANDSCAPE WALL</li> <li>EXISTING WELL</li> <li>PROPOSED WELL</li> <li>EXISTING MAINHOLE</li> <li>PROPOSED DRAINAGE MANHOLE</li> <li>EXISTING SANITARY MANHOLE</li> <li>PROPOSED SANITARY MANHOLE</li> <li>EXISTING UTILITY POLE</li> <li>PROPOSED UTILITY POLE</li> <li>EXISTING INLET</li> <li>PROPOSED INLET</li> </ul>	<ul style="list-style-type: none"> <li>PROPOSED DRAINAGE PIPE</li> <li>EXISTING ELECTRICAL SERVICE LOCATION</li> <li>PROPOSED ELECTRICAL SERVICE LOCATION</li> <li>PROPOSED PHONE/DATA SERVICE LOCATION</li> <li>EXISTING OVERHEAD WIRE</li> <li>PROPOSED OVERHEAD WIRE</li> <li>EXIST WATER LINE</li> <li>PROPOSED WATER LINE</li> <li>EXISTING GAS LINE</li> <li>PROPOSED GAS LINE</li> <li>EXISTING SANITARY SEWER</li> <li>PROPOSED SANITARY LINE</li> <li>EXIST WATER VALVE</li> <li>PROPOSED WATER VALVE</li> <li>EXIST GAS VALVE</li> </ul>	<ul style="list-style-type: none"> <li>PROPOSED GASE VALVE</li> <li>PROPOSED CLEANOUT</li> <li>300' RIPARIAN ZONE LINE</li> <li>FLOOD HAZARD AREA LINE</li> <li>150' WETLANDS TRANSITION AREA LINE</li> <li>PROPOSED LIMIT OF DISTURBANCE</li> <li>PROPOSED RETAINING WALL</li> <li>INLET PROTECTION</li> <li>PROPOSED SILT FENCE</li> </ul>
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**TOTAL DISTURBANCE AREA:**  
 PROPOSED LIMIT OF DISTURBANCE = 108,023 SF / 2.48 AC.  
 AREA TO BE MILLED AND REPAVED = 38,160 SF / 0.88 AC.  
 NET AREA OF DISTURBANCE = 69,863 SF / 1.6 AC.

NOTE: CONSTRUCTION TIMELINE IS APPROXIMATE AND SUBJECT TO CHANGE DURING CONSTRUCTION. SEQUENCE ITEMS MAY RUN CONCURRENTLY.

- INSTALL EROSION CONTROL MEASURES (1 DAY)
- DEMOLISH EXISTING POLICE STATION AND TOWN HALL BUILDINGS (2 WEEKS)
- EXCAVATE FOR FOUNDATIONS AND EXPORT SPOILS (3 DAYS)
- CONSTRUCT FOUNDATIONS (2 WEEKS)
- ROUGH GRADE SURROUNDING AREAS, PARKING LOTS, AND DRIVEWAY (1 WEEK)
- BACKFILL FOUNDATIONS (2 DAYS)
- INSTALL DRAINAGE, UTILITIES, AND LIGHTING FIXTURES (2 WEEKS)
- CONSTRUCT PROPOSED CURBS (2 WEEKS)
- CONSTRUCT BUILDINGS (6 MONTHS)
- FINE GRADE SURROUNDING AREAS AND PARKING AREAS (2 DAYS)
- MILL EXISTING PARKING AREAS AFTER BUILDING CONSTRUCTION COMPLETE (1 DAY)
- PAVE PARKING AREAS AND DRIVEWAY (2 DAYS)
- FINE GRADE UNPAVED AREAS, SCARIFY SOIL (6" MINIMUM DEPTH) IN LAWN AND LANDSCAPED AREAS PRIOR TO PERMANENT PLACEMENT OF TOPSOIL. (1 DAY)
- INSTALL LANDSCAPE MATERIAL AS SHOWN ALLOW SITE TO STABILIZE (2 WEEKS)
- REMOVE EROSION CONTROL MEASURES. (1 DAY)

**REFERENCES**

- EXISTING ONSITE FEATURES AND TOPOGRAPHY BASED ON FIELD SURVEY COMPLETED BY THE NADER GROUP ON 03/31/21.
- LIMITS OF WETLANDS, LUBBERS RUN, FLOOD HAZARD AREA LINE, & RIPARIAN ZONE ARE BASE ON NJ GEOWEB DATA.
- LIMITS OF PROPERTY LINE ARE BASED ON BYRAM TAX MAP SHEET 5 DATED JUNE 2006.
- EXISTING SANITARY LINE LOCATIONS AND EASEMENT ARE BASED ON DRAWING OF RECORD ENTITLED "SANITARY SEWER SYSTEM TOWNSHIP OF BYRAM, SUSSEX COUNTY, NEW JERSEY. PLAN & PROFILE." PREPARED BY CERENZIO & PANARO, P.C. DATED JANUARY 1996 REVISED THOUGH 06/11/97.
- ELEVATIONS DEPICTED ON THIS PLAN ARE BASED ON VERTICAL DATUM NAVD 88.

**NOTES:**

- STABILIZED CONSTRUCTION ENTRANCE TO BE PROVIDED IN ACCORDANCE WITH PROJECT PHASING.
- ACCORDING TO THE DEFINITION OF "DISTURBANCE" WITHIN THE NJAC SECTION 7:8-1.2 DEFINITIONS & TOWNSHIP OF BYRAM ORDINANCE, MILLING AND REPAVING IS NOT CONSIDERED DISTURBANCE.



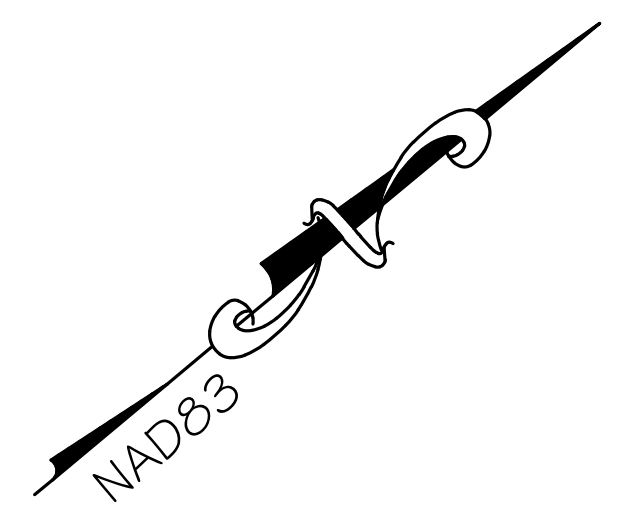
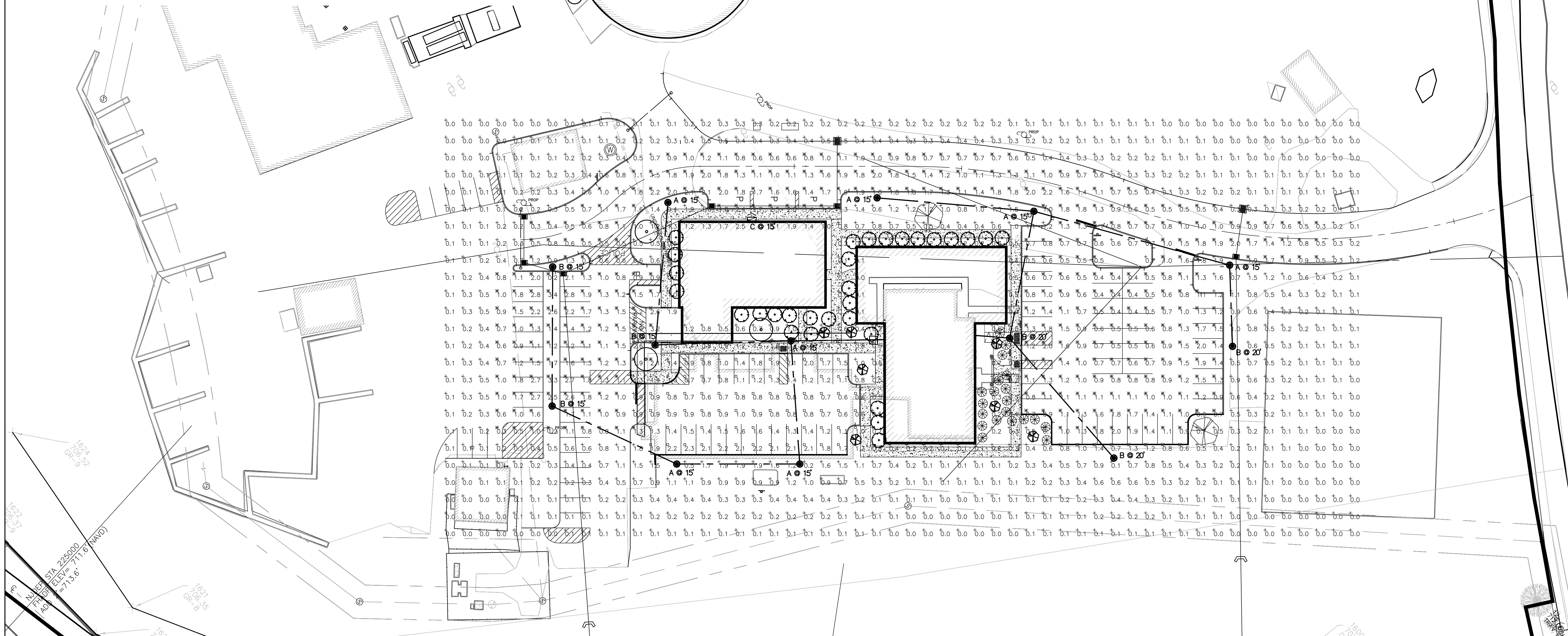
IT'S THE LAW - NEW JERSEY ONE CALL  
 DIAL 811  
 BEFORE YOU DIG ANYWHERE IN NEW JERSEY CALL 1-800-272-1000  
 FOR FREE SERVICES TO LOCATE UNDERGROUND UTILITIES



PLANT LIST:

KEY	QTY.	LATIN NAME	COMMON NAME	SIZE
	2	CORNUS FLORIDA	FLOWERING DOGWOOD	Min. 1.5" Cal. B & B
	20	CLETHRA ALNIFOLIA	SUMMERSWEET	14"-16" B & B
	30	ILEX GLABRA	INKBERRY HOLLY 'SHAMROCK'	14"-16" B & B
	10	CORNUS FLORIDA	WHITE DOGWOOD	3' HT.
	3	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	1 1/2' HT.

TREE PLANTING DETAILS ON SHEET C-904



**BYRAM MUNICIPAL COMPLEX**  
 10 MANSFIELD DRIVE - BLOCK 365 LOT 16.01  
 BYRAM TOWNSHIP (TAX MAP SHEET #5)  
 SUSSEX COUNTY NEW JERSEY

**THE NADER GROUP, LLC**  
 Engineers, Surveyors & Designers  
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**LIGHTING AND LANDSCAPING PLAN**  
 C-600 SCALE: 1"=30'



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Distribution
	A	7	Cyclone Lighting	CY11T4x-VS3AR-3M-68W-4K	Prestige Post Top	34 LEDs - 700 mA	1	7684	0.85	79	
	B	6	Cyclone Lighting	CY11T4x-VS3AR-4-68W-4K	Prestige Post Top	34 LEDs - 700 mA	1	7617	0.85	79	
	C	1	Holophone	HLWPC2 P30 40K XX T4M	Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage, Type IV Medium		1	7760	0.85	71	TYPE IV, MEDIUM, BUG-RATING: B2 - U0 - G2

NOTES:  
 1. READINGS SHOWN ARE BASED ON A TOTAL LLF AS SHOWN AT FLOOR. DATA REFERENCES THE EXTRAPOLATED PERFORMANCE PROJECTIONS IN A 25C AMBIENT BASED ON 10,000 HRS. OF LED TESTING (PER IESNA LM-80-08 AND PROJECTED PER IESNA TM-21-11).  
 2. PLEASE REFER TO THE "LUMINAIRE LOCATIONS" FOR MOUNTING HEIGHTS.  
 3. PRODUCT INFORMATION CAN BE OBTAINED AT WWW.ACUIITYBRANDS.COM OR THROUGH YOUR LOCAL AGENT

--- ELECTRIC TRENCH LOCATION - FIELD ADJUST IF REQUIRED

ALL LIGHTS AND POLES TO BE BLACK FINISH

DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
ACCESS DRIVE	✕	1.2 fc	2.7 fc	0.3 fc	9.0:1	4.0:1
EAST PARKING LOT	□	1.2 fc	2.3 fc	0.6 fc	3.8:1	2.0:1
NORTH PARKING LOT	✕	1.0 fc	2.0 fc	0.4 fc	5.0:1	2.5:1
SITE SPILL	+	0.7 fc	3.7 fc	0.0 fc	N/A	N/A
SOUTH PARKING LOT	✕	1.5 fc	3.4 fc	0.2 fc	17.0:1	7.5:1

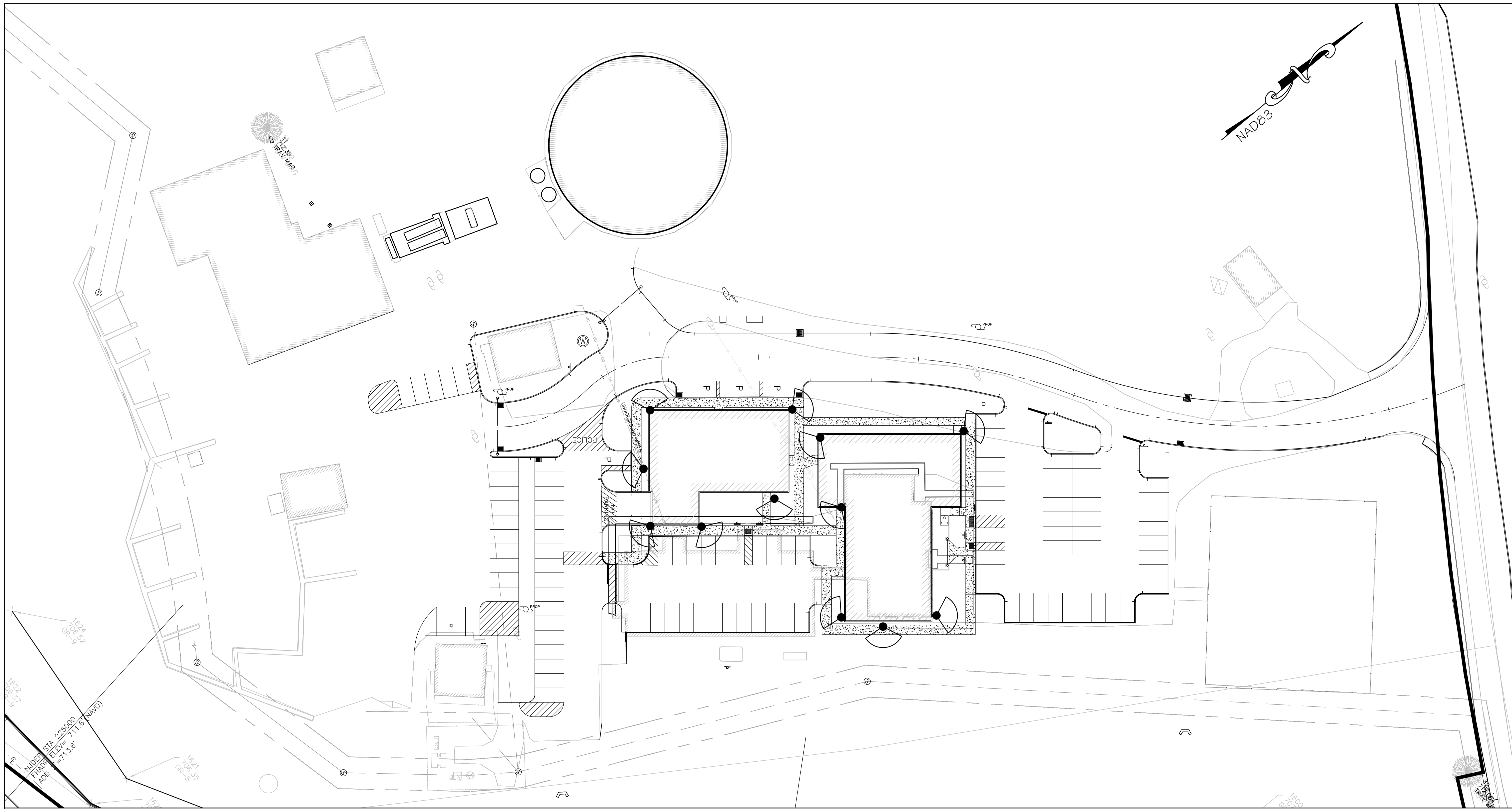
NOTE: FLAGPOLE TO BE ILLUMINATED WITH DENEVE 'DAISY CHAIN' SOLAR POLE MOUNT LIGHT OR APPROVED EQUAL.

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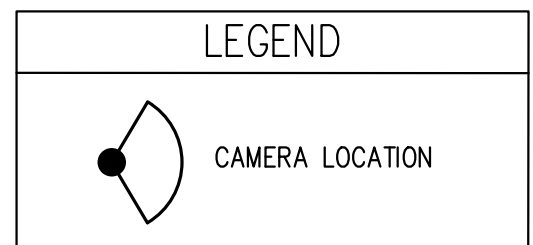
DRW BY: MC  
 SCALE: AS SHOWN  
 DATE: MAY 14TH, 2021  
 JOB No. 18.TNG029

LIGHTING AND LANDSCAPING PLAN  
 DRAWING No.  
**C-600**





1 SECURITY CAMERA LOCATION PLAN  
C-601 SCALE: 1"=30'



**BYRAM MUNICIPAL COMPLEX**  
10 MANSFIELD DRIVE - BLOCK 365 LOT 16.01  
BYRAM TOWNSHIP (TAX MAP SHEET #5)  
SUSSEX COUNTY NEW JERSEY

**THE NADER GROUP, LLC**  
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No.	DATE	REVISION
DRW BY: MC		
SCALE: AS SHOWN		
DATE: MAY 14TH, 2021		
JOB No. 18.TNG029		

SECURITY CAMERA LOCATION PLAN

DRAWING No.  
**C-601**



**INLET & MANHOLE NOTES**

- CORRELLING OF INLET WALLS WILL BE PERMITTED AT THE RATE OF 1/2" PER 8" OF HEIGHT OF WALL; MAXIMUM CORREL 6" PER WALL.
- WHEN THE ITEM MANHOLES, INLETS AND CATCH BASINS, ADDITIONAL DEPTH, IS SCHEDULED IN THE PROPOSAL AND THE DEPTH OF A STRUCTURE EXCEEDS 10' AS MEASURED FROM TOP OF COVER OR GRATE TO INVERT OF DRAINAGE STRUCTURE, THE WALLS OF THE STRUCTURE BELOW A DEPTH OF 8' SHALL BE 12" THICK, AND THE OVERALL HORIZONTAL DIMENSIONS OF FOUNDATIONS SHALL BE INCREASED 12", AND EXCEPT IN ROCK THE DEPTH INCREASED TO 12".
- EXCEPT FOR CATCH BASINS AND TYPE A INLETS, FOOTINGS AND INVERTS SHALL BE CONSTRUCTED IN TWO STAGES, AND THE BOTTOM OF THE FOOTINGS SHALL BE 12" BELOW THE OUTER WALL OF THE LOWEST PIPE IN INLETS AND 10" IN MANHOLES.
- LADDER RUNGS OF PRECAST INLETS SHALL BE SPACED A MAXIMUM OF 18".
- INLET FOUNDATIONS WHICH ARE PRECAST SHALL BE PLACED ON A 6" THICK BED OF COMPACTED COARSE AGGREGATE SIZE NO. 57. THE COARSE AGGREGATE SHALL EXTEND 6" BEYOND THE HORIZONTAL LIMITS OF THE INLET FOUNDATION.
- CASTINGS FOR PRECAST INLETS AND MANHOLES SHALL BE ADJUSTED TO GRADE WITH COURSES OF CONCRETE BLOCK, AS REQUIRED, 12" MAXIMUM. 6" MIN. SHALL BE ALLOWED FOR IN PRECAST DESIGN.
- WHEN THE DEPTH OF A PRECAST INLET EXCEEDS 10' AS MEASURED FROM TOP OF GRATE TO INVERT, THE FOUNDATION SHALL BE INCREASED TO 12", WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
- MINIMUM WALL REINFORCEMENT FOR PRECAST INLETS TYPE A, B, C, E, D-1 AND B MODIFIED.

DEPTH BELOW TOP OF GRATE	HORIZONTAL REINFORCEMENT	VERTICAL REINFORCEMENT	WALL THICKNESS
0' TO 10'-0"	#4 @ 10" C.C.	#4 @ 18" C.C.	6"
10'-1" TO 15'-0"	#4 @ 8" C.C.	#4 @ 18" C.C.	6"
15'-1" TO 20'-0"	#4 @ 6" C.C.	#4 @ 18" C.C.	6"
- REINFORCING SHOWN FOR PRECAST INLETS IS THE MINIMUM REQUIRED. ADDITIONAL REINFORCING FOR HANDLING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE ITEM OF RESET HEADS SHALL INCLUDE RAISING OR LOWERING THE HEAD CASTINGS OF INLETS AND CATCH BASINS, OR THE RAISING OF MANHOLE HEAD CASTINGS, FOR A MAXIMUM OF 12". ALL OTHER CHANGES IN POSITION OF HEAD CASTING SHALL BE CONSIDERED AS RECONSTRUCTED MANHOLES OR RECONSTRUCTED INLETS OR CATCH BASINS.
- WHEN CURB PIECE HEIGHT SPECIFIED IS GREATER THAN CURB FACE HEIGHT, DEPRESS THE GUTTER OF GRATE SO THAT THE TOP OF CURB PIECE IS AT THE SAME ELEVATION AS THE TOP OF CURB.
- SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO FABRICATION.

**Soil De-compaction and Testing Requirements**

**Soil Compaction Testing Requirements**

- Subgrade soils **prior to the application of topsoil** (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
- Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.
- Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
- In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

**Compaction Testing Methods**

- Probing Wire Test (see detail)
- Hand-held Penetrometer Test (see detail)
- Tube Bulk Density Test (licensed professional engineer required)
- Nuclear Density Test (licensed professional engineer required)

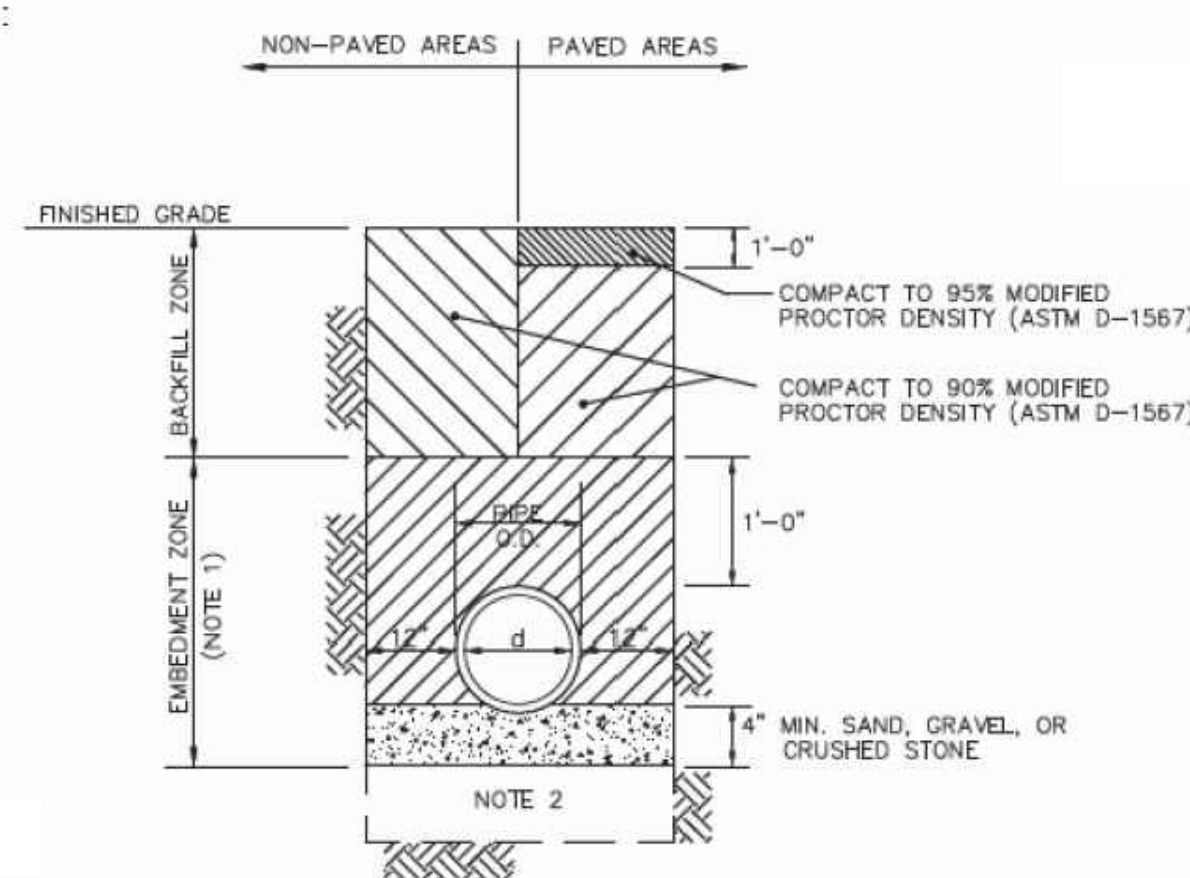
Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

**Procedures for Soil Compaction Mitigation**

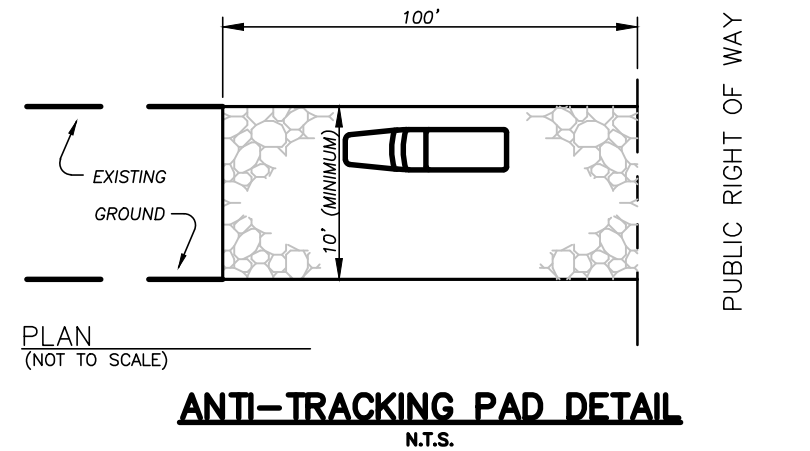
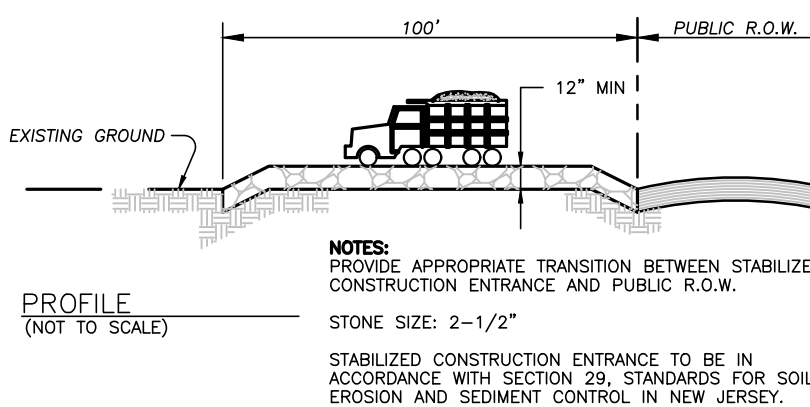
Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through **deep scarification/tillage (6" minimum depth)** where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer may be substituted subject to District Approval.

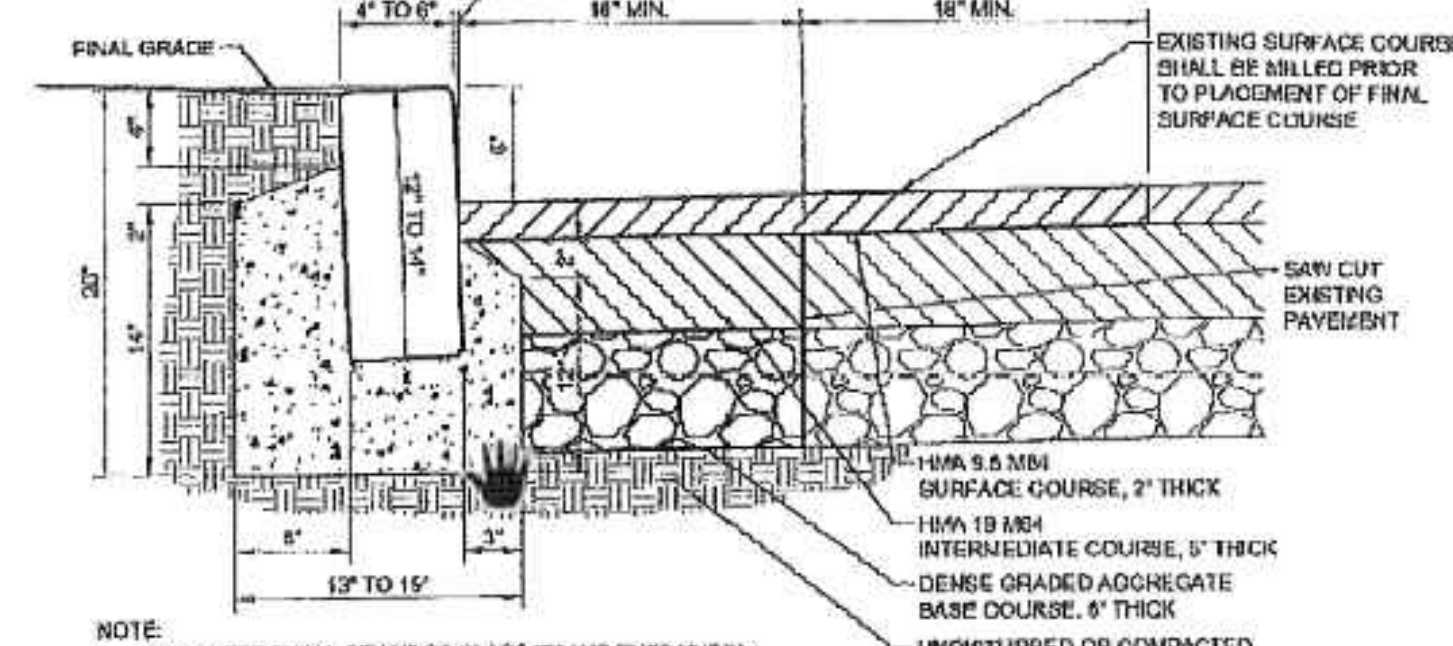


- NOTES:
- BACKFILL IN EMBEDMENT ZONE SHALL BE PLACED BY HAND IN 6 INCH LIFTS ON BOTH SIDES OF PIPE TO PREVENT DISPLACEMENT. COMPACT TO 95% MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D-1557.
  - IF UNSUITABLE SOIL MATERIALS ARE ENCOUNTERED, REMOVE AND REPLACE WITH 12 INCHES ADDITIONAL BEDDING OR AS DIRECTED BY ENGINEER.
  - PROVIDE 48" MINIMUM COVER ON PROPOSED WATER AND FIRE LINES

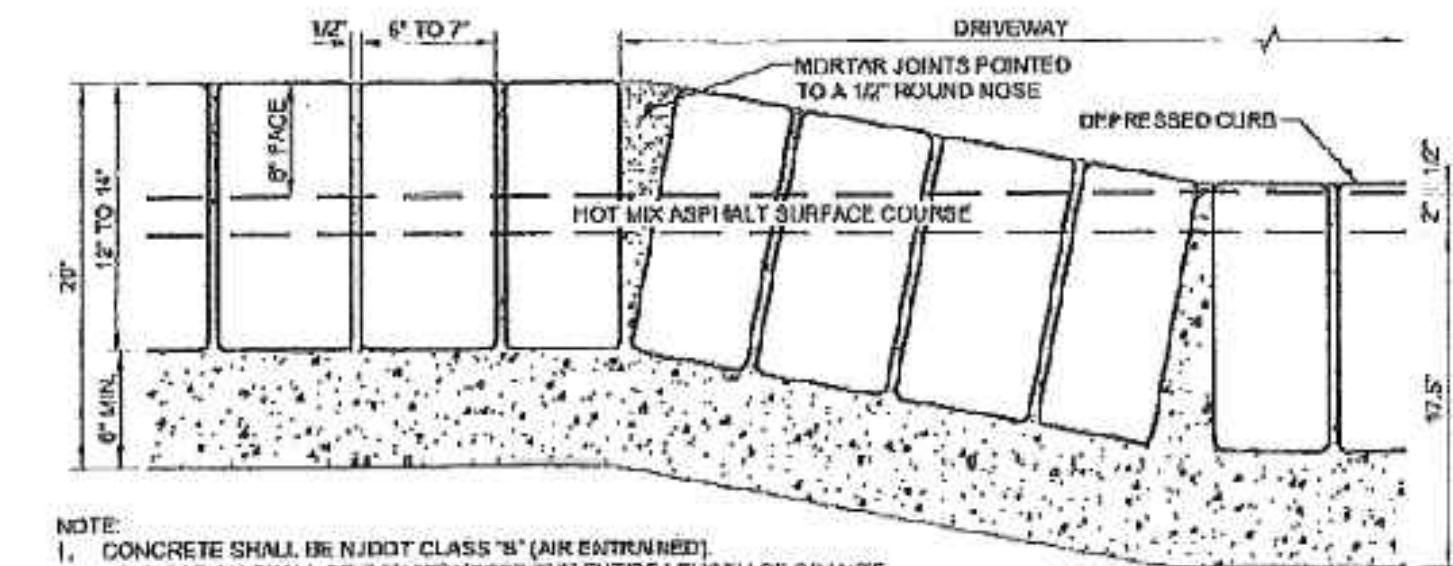
**TRENCH DETAIL**  
NOT TO SCALE



**ANTI-TRACKING PAD DETAIL**  
N.T.S.

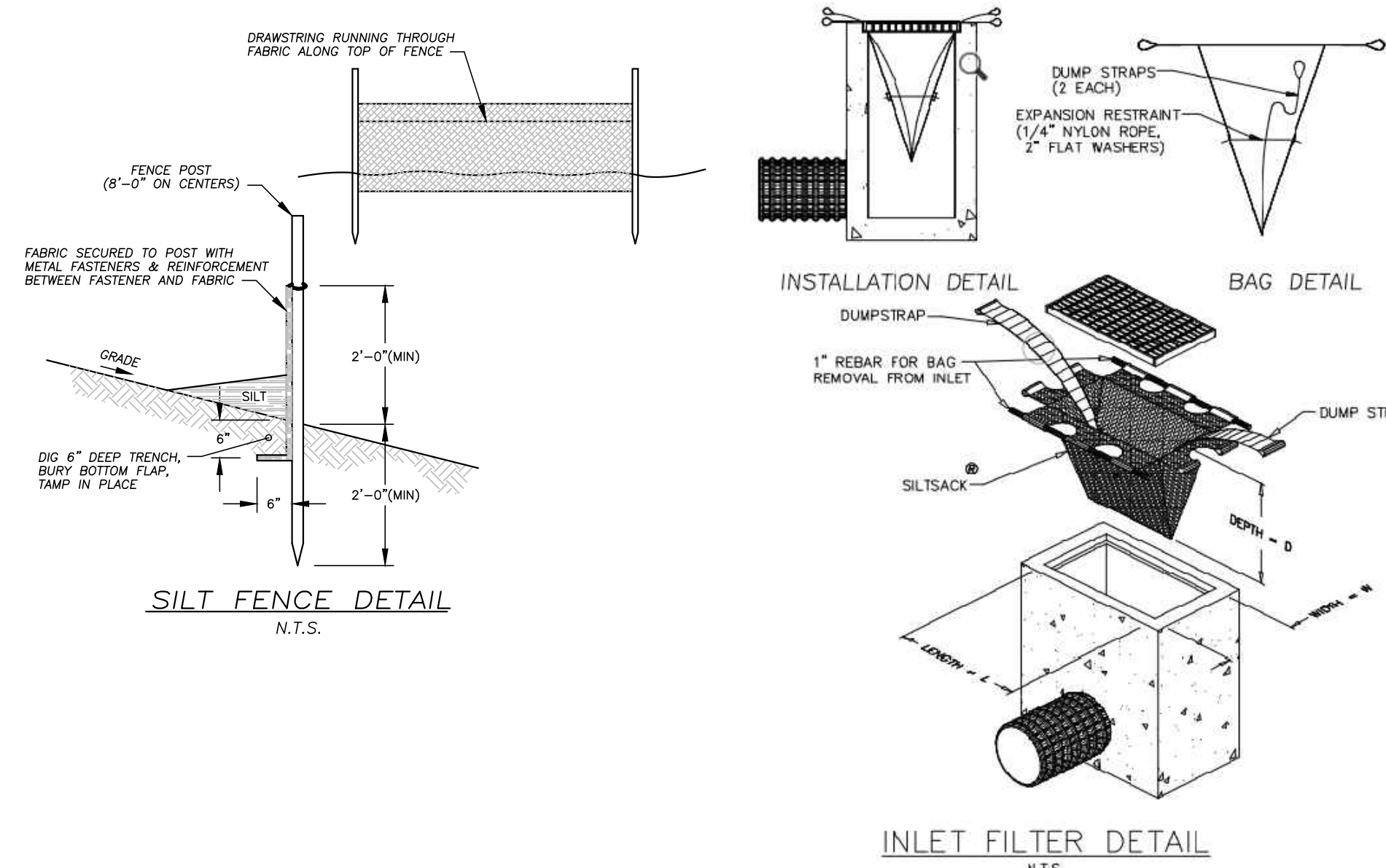


**GRANITE BLOCK CURB DETAIL**



- NOTE:
- CONCRETE SHALL BE NUDOT CLASS 'B' (AIR ENTRAINED).
  - FOUNDATION SHALL BE CONSTRUCTED THE ENTIRE LENGTH OF GRANITE BLOCK CURB.
  - MORTAR SHALL CONSIST OF ONE (1) PART PORTLAND CEMENT TO TWO (2) PARTS FINE AGGREGATES. WATER SHALL BE ADDED TO FORM THE PROPER CONSISTENCY.
  - MORTAR SHALL NOT BE TEMPERED OR USED AFTER IT HAS BEGUN TO SET.

**GRANITE BLOCK CURB DETAIL**  
DEPRESSED CURB DETAIL



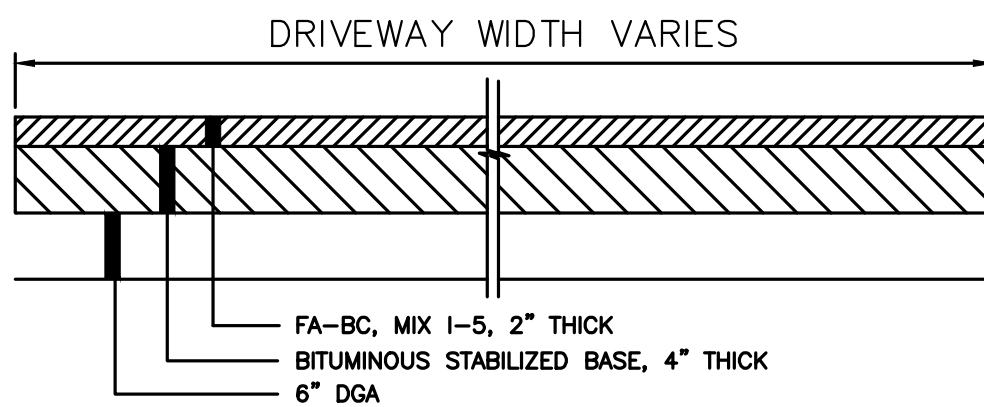
**INLET FILTER DETAIL**  
N.T.S.

**INLET NOTES:**

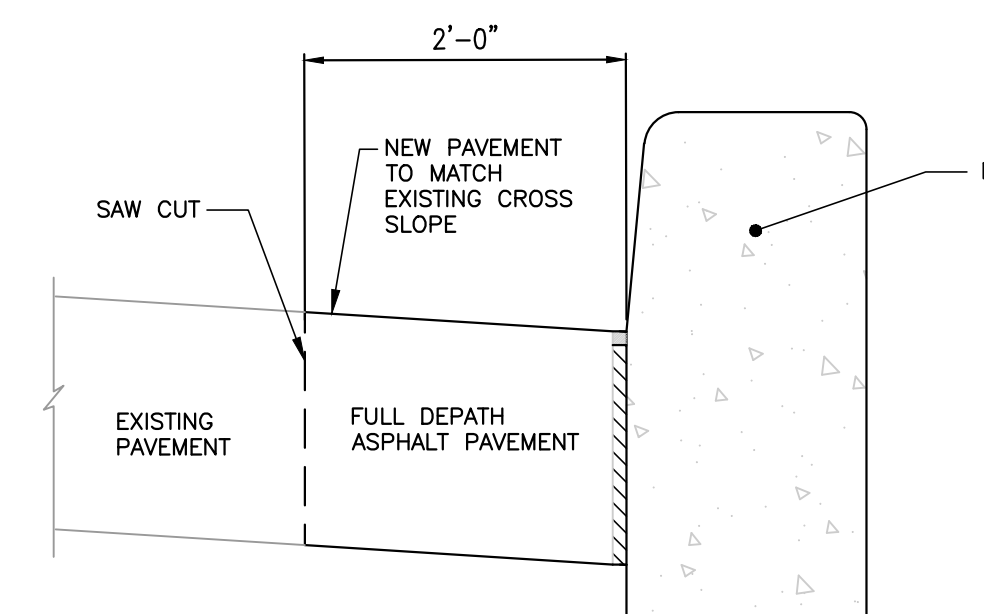
- INLETS SHALL BE CONSTRUCTED OF PRECAST CONCRETE. WALLS SHALL BE 6" THICK CONCRETE.
- FOUNDATIONS, WALLS AND INVERTS TO BE NUDOT CLASS 'C' CONCRETE.
- WHEN THE DEPTH OF AN INLET THAT IS NOT PRECAST EXCEEDS 10' AS MEASURED FROM THE TOP OF GRATE/COVER TO INVERT, WALLS BELOW A DEPTH OF 8' SHALL BE 12" THICK AND THE DEPTH OF FOUNDATION INCREASED TO 12". WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
- INLET FOUNDATIONS WHICH ARE PRECAST SHALL BE PLACED ON A 6" THICK BED OF COMPACTED COARSE AGGREGATE, NUDOT SIZE NO. 57. THE COARSE AGGREGATE SHALL EXTEND 6" BEYOND THE HORIZONTAL LIMITS OF THE INLET FOUNDATION.
- CASTINGS FOR PRECAST INLETS SHALL BE ADJUSTED TO GRADE WITH COURSES OF CONCRETE BLOCK, AS REQUIRED (12" MAXIMUM).
- WHEN THE DEPTH OF A PRECAST INLET EXCEEDS 10' AS MEASURED FROM TOP OF GRATE/COVER TO INVERT, THE FOUNDATION SHALL BE INCREASED TO 12" WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
- INLET REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- SHOP DRAWINGS ARE TO BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION.

**NOTE:**

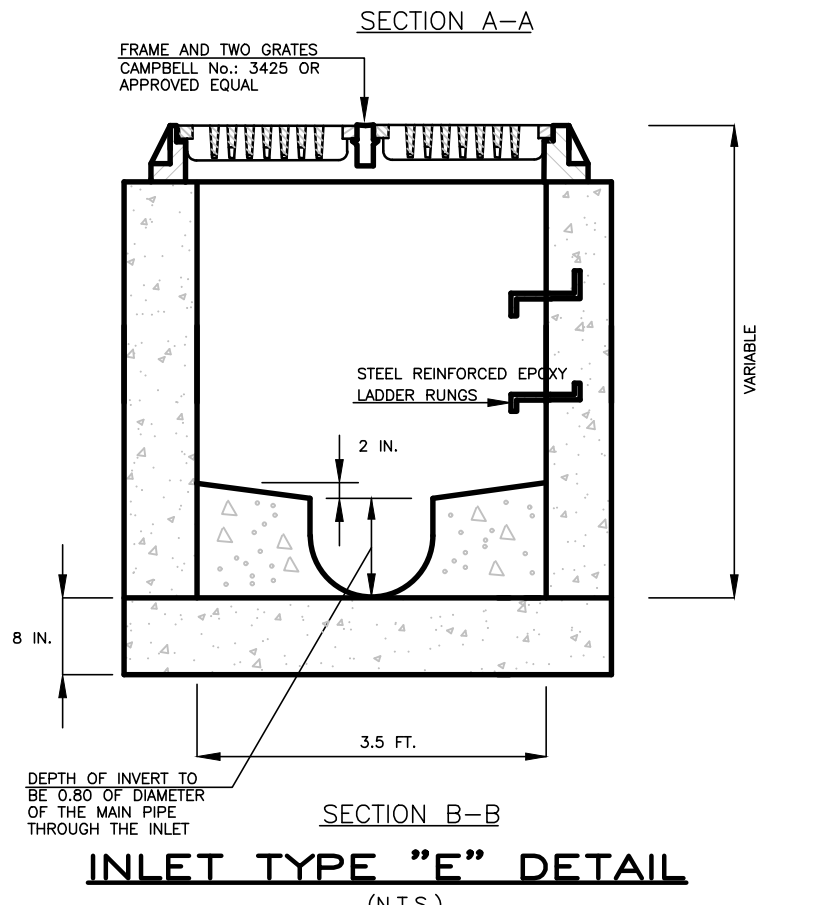
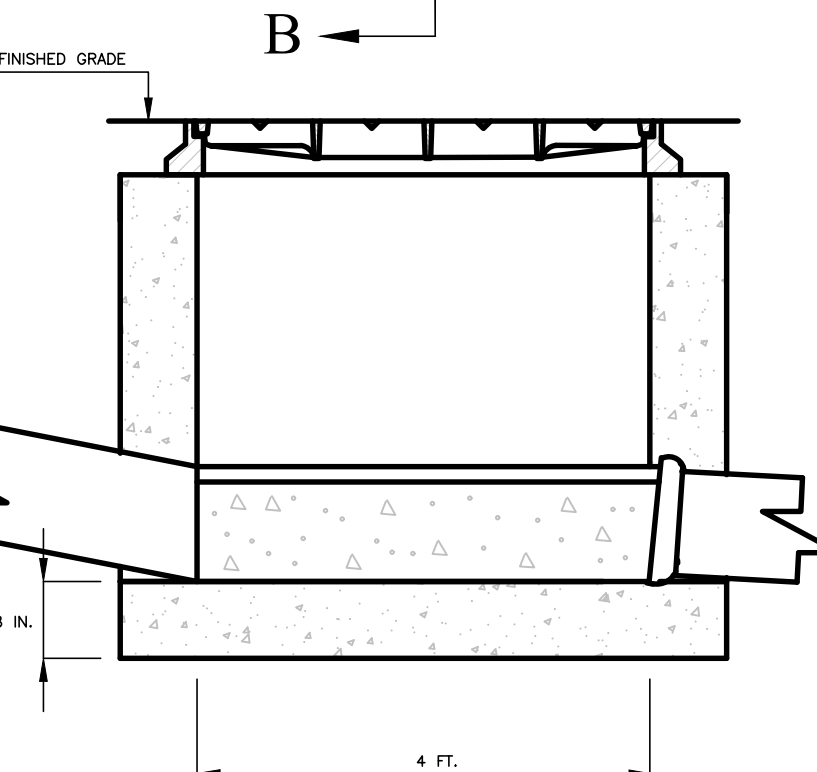
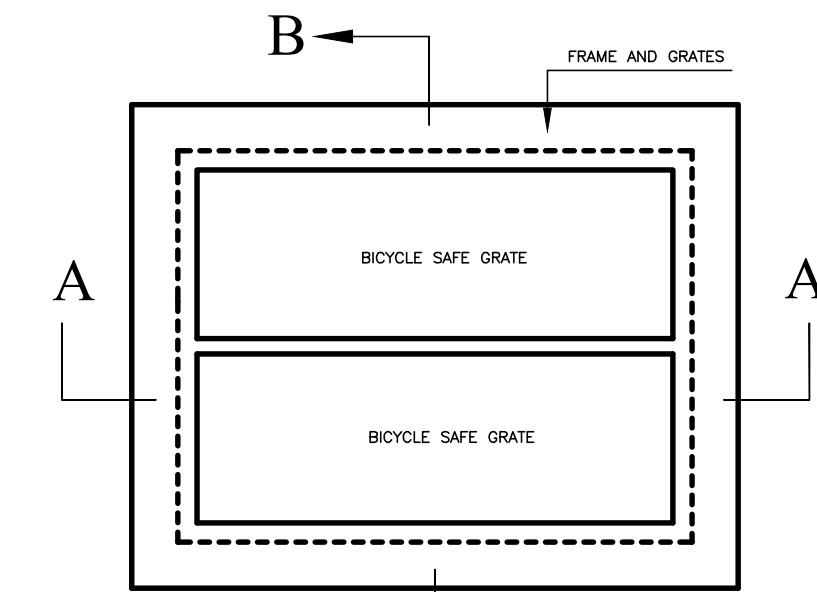
AT DRIVEWAY REPLACEMENT MEET EXISTING, SAW CUT AND BUTT JOINT. THE COST OF SAW CUT AND PAVEMENT REMOVAL FOR BUTT JOINT SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE ITEM BITUMINOUS CONCRETE DRIVEWAY.



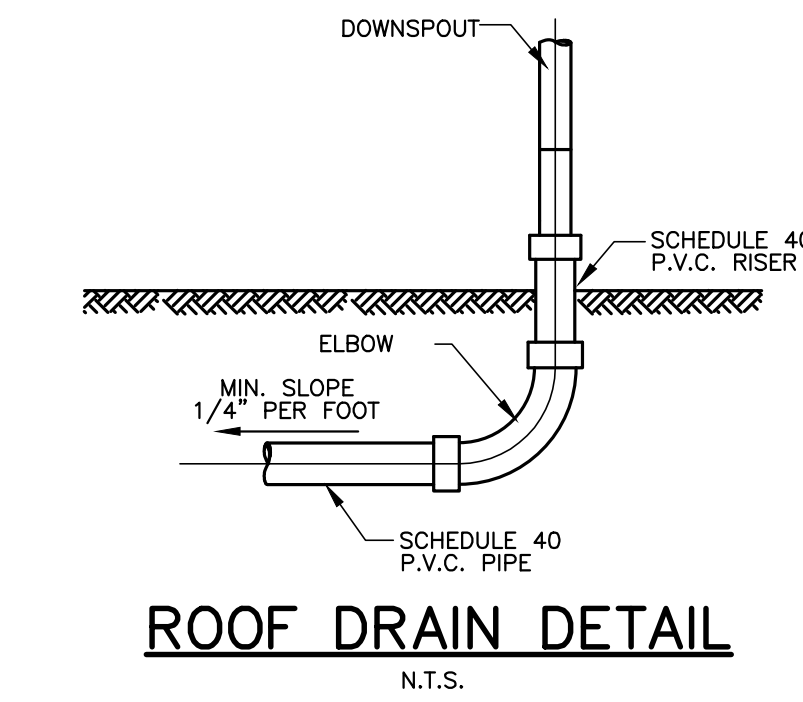
**TYPICAL SECTION BITUMINOUS CONCRETE DRIVEWAY & PARKING AREA**  
N.T.S.



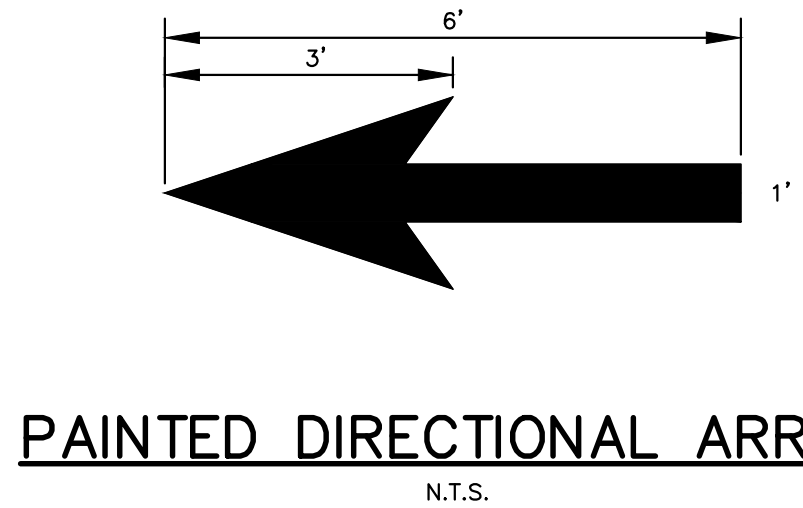
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NOT TO SCALE



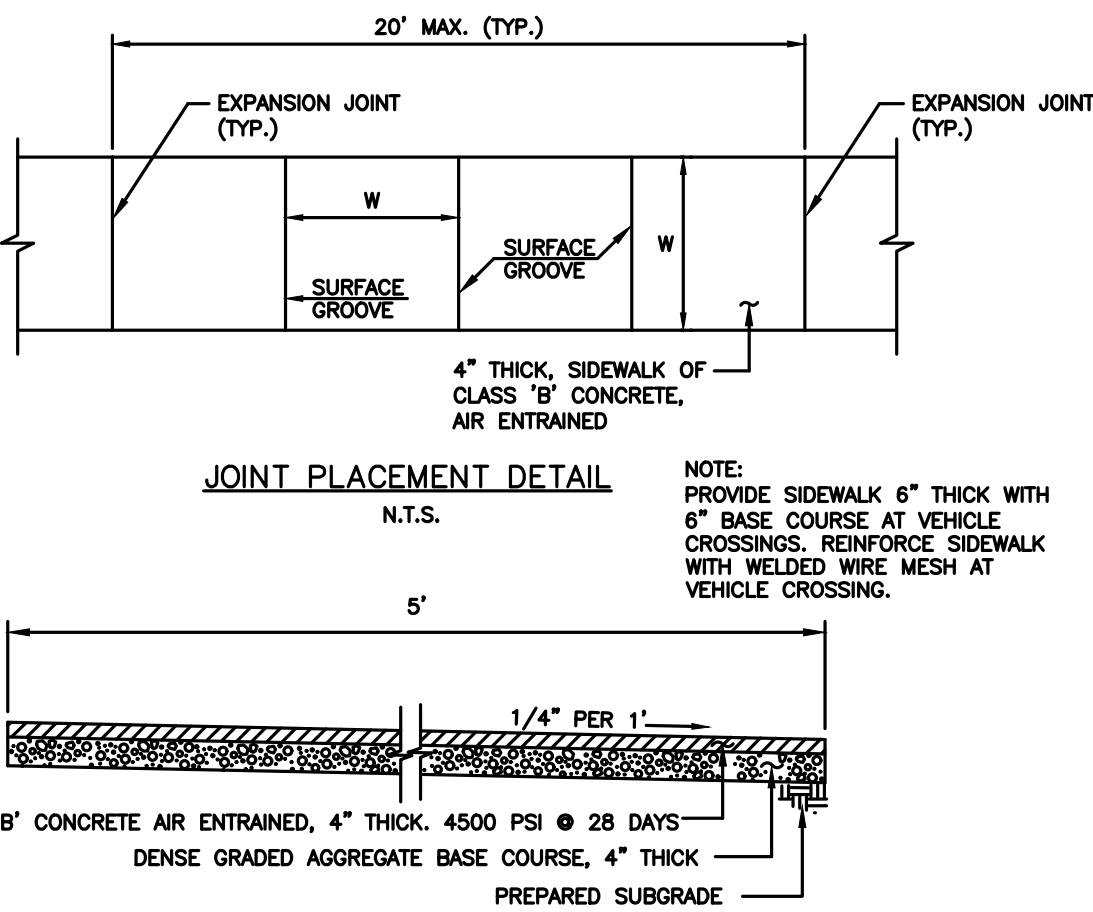
**INLET TYPE 'E' DETAIL**  
N.T.S.



**ROOF DRAIN DETAIL**  
N.T.S.

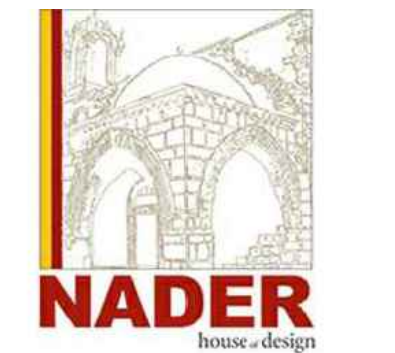


**PAINTED DIRECTIONAL ARROW**  
N.T.S.



**TYPICAL SECTION CONCRETE SIDEWALK**  
N.T.S.

**BYRAM MUNICIPAL COMPLEX**  
10 MANSFIELD DRIVE - BLOCK 365 LOT 16.01  
BYRAM TOWNSHIP (TAX MAP SHEET #5)  
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**CERTIFICATE OF AUTHORIZATION**  
No. 24GA28213500

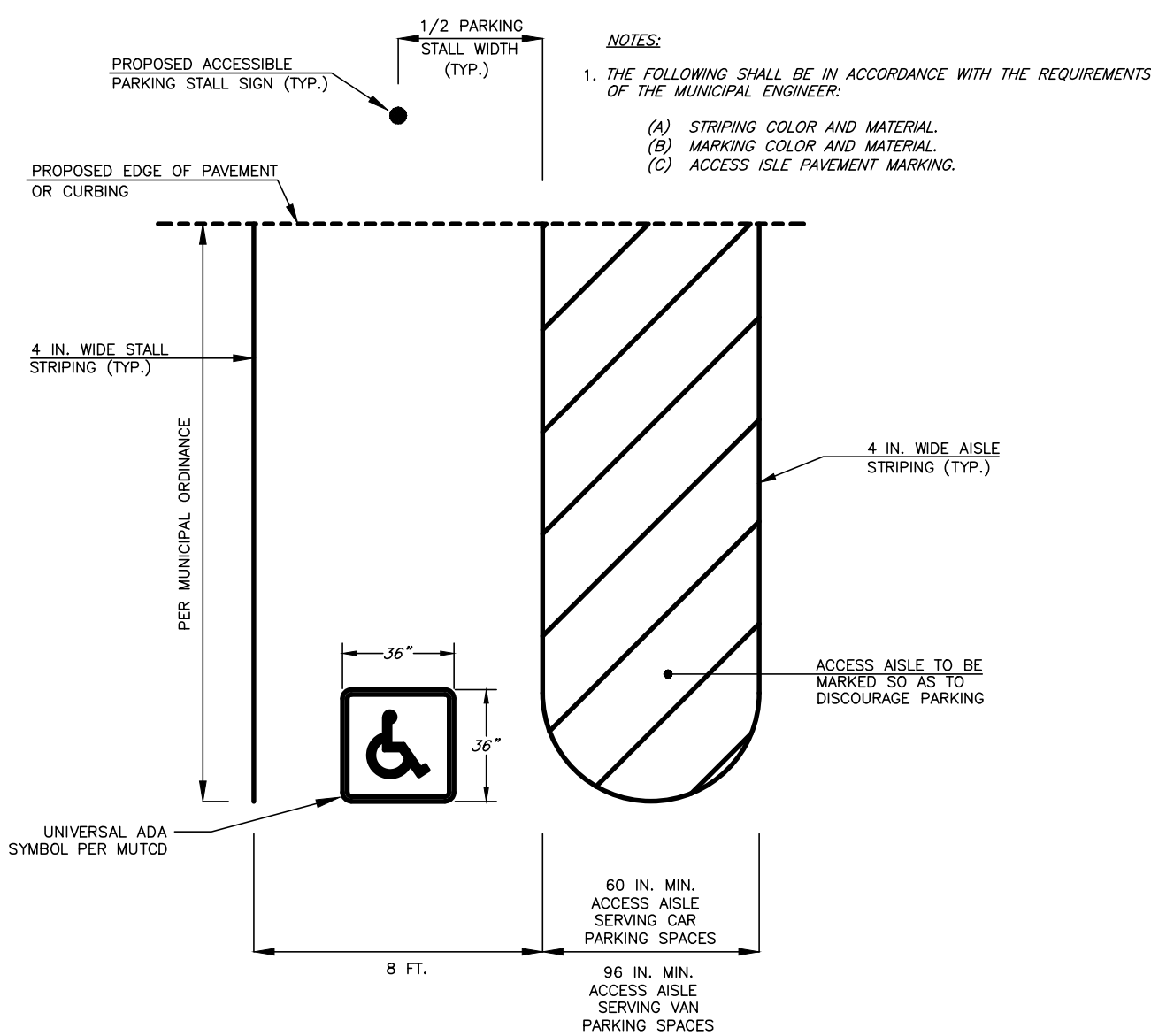
**WASSIM Y. NADER, P.E.**  
N.J. PROFESSIONAL ENGINEER LICENSE  
No. 24GE03665000  
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1	5/27/21	CLIENT COMMENTS

DRW BY: MC  
SCALE: AS SHOWN  
DATE: MAY 14TH, 2021  
JOB No. 18.TNG029

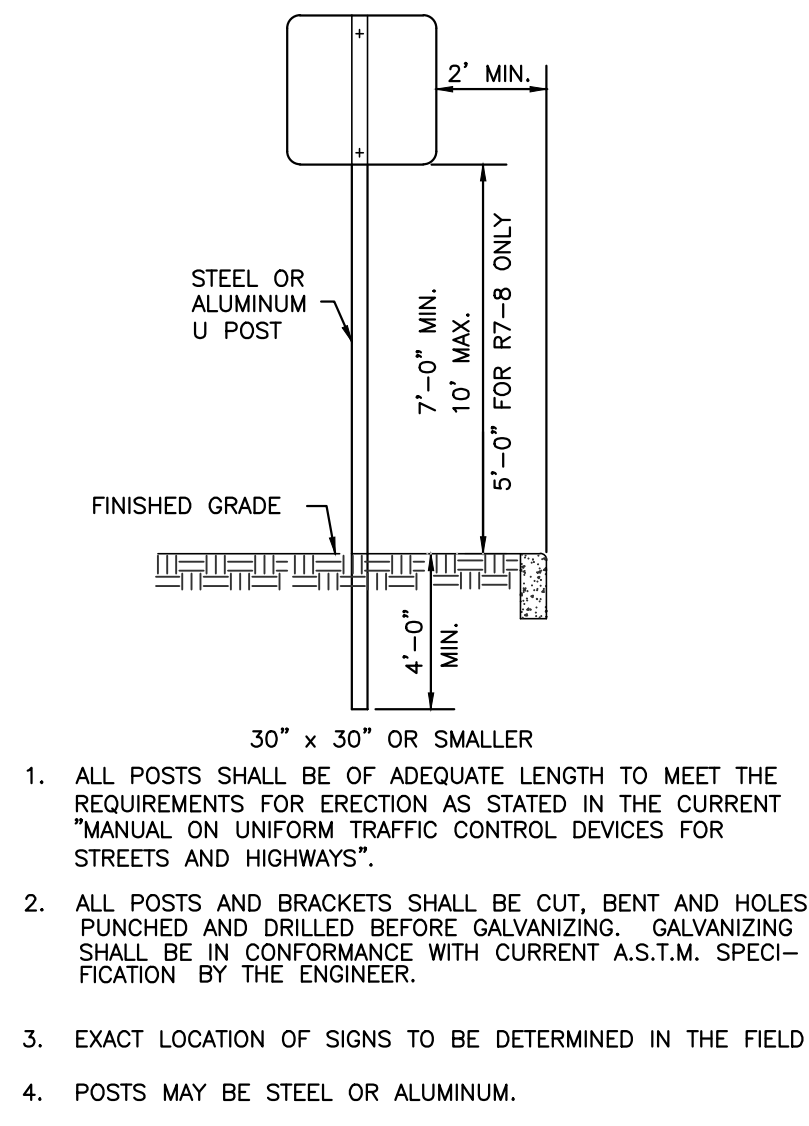
DETAILS  
**C-901**





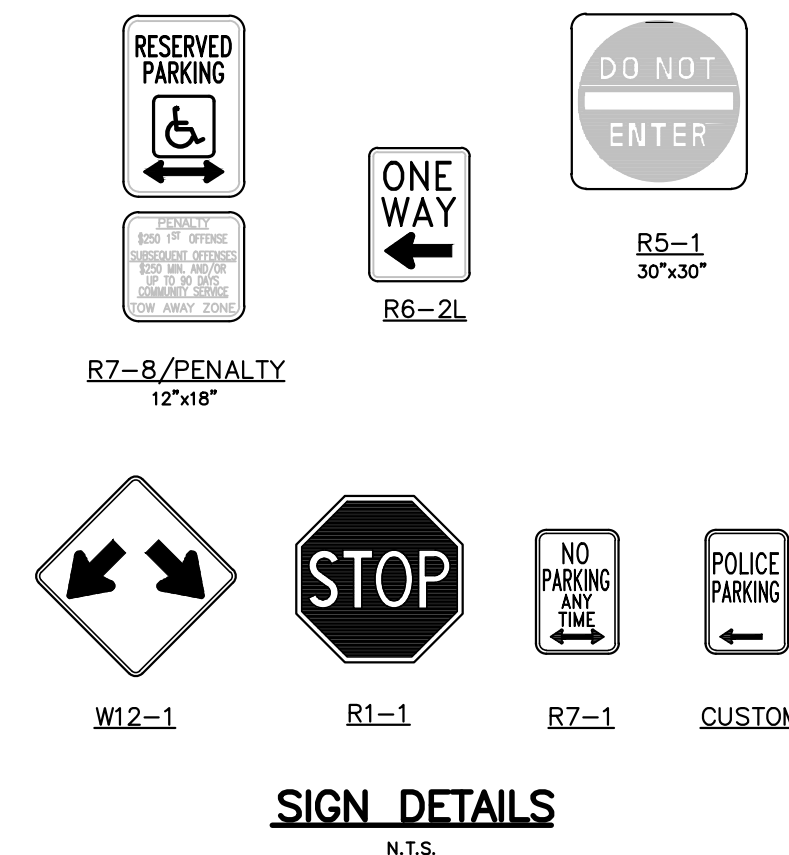
**AMERICANS WITH DISABILITIES ACT ACCESSIBLE PARKING STALL DETAIL**

(N.T.S.)



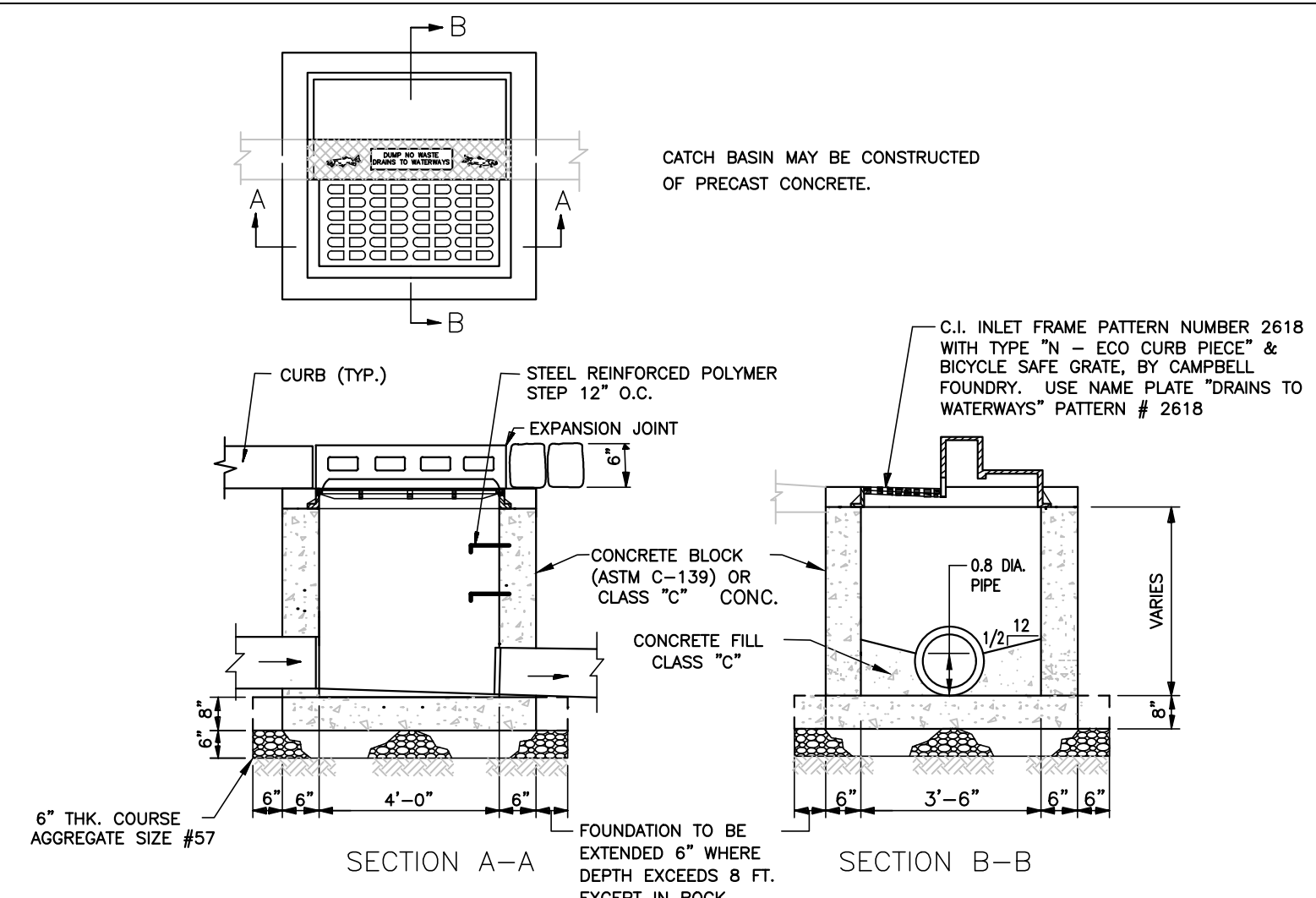
**PERMANENT REGULATORY SIGNS**

(N.T.S.)



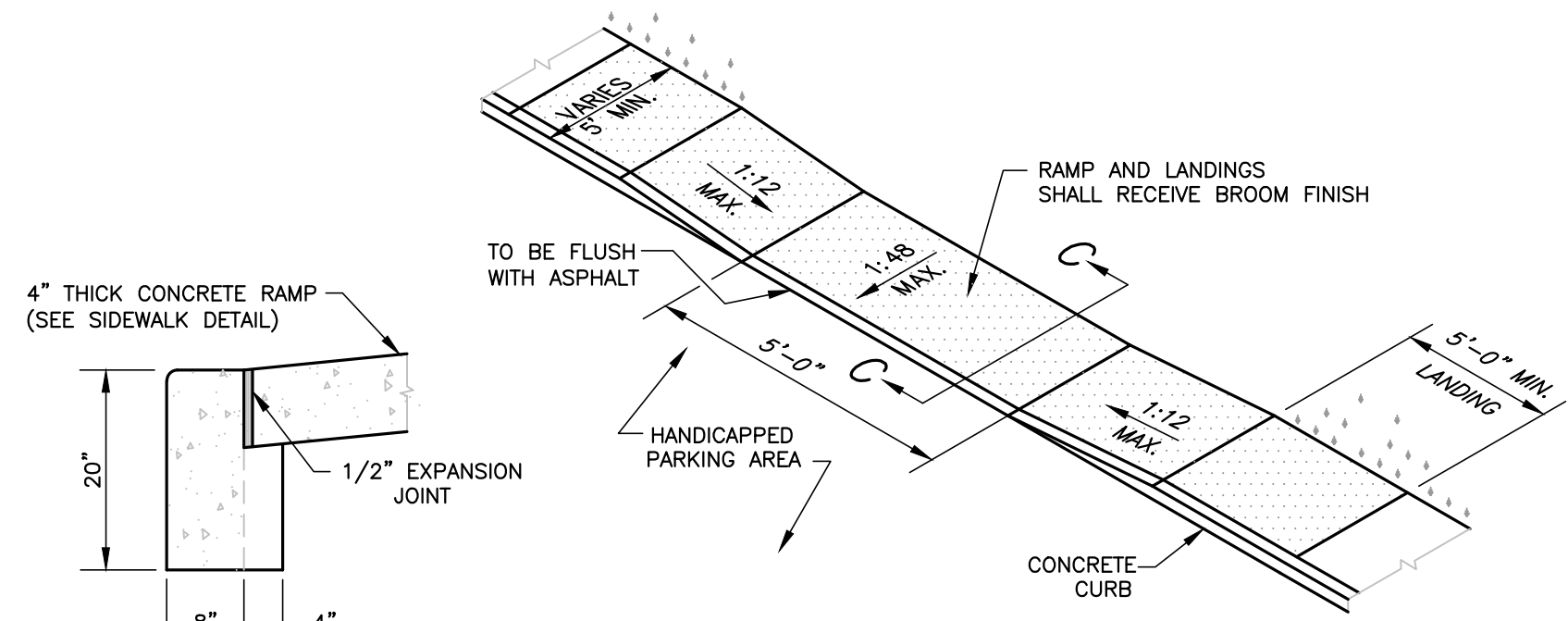
**SIGN DETAILS**

(N.T.S.)



**INLET TYPE B**

NOT TO SCALE

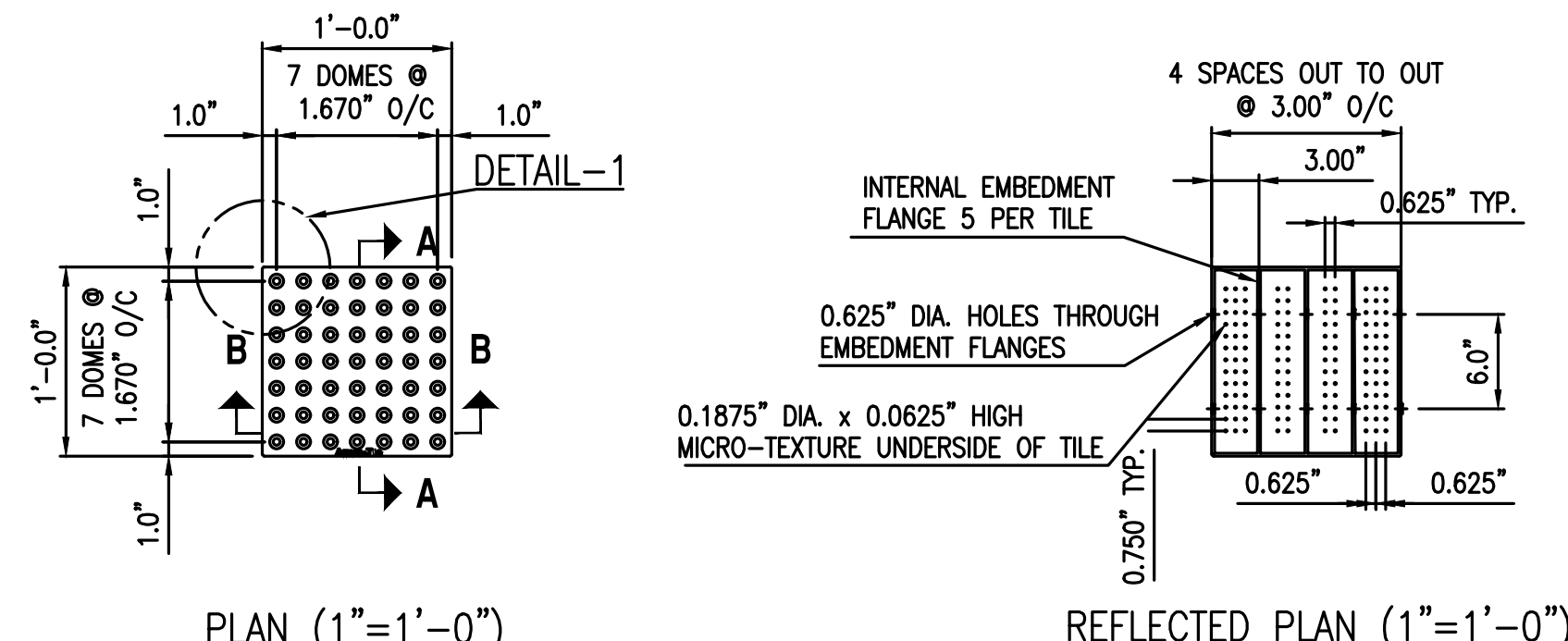


**SECTION C-C**

(N.T.S.)

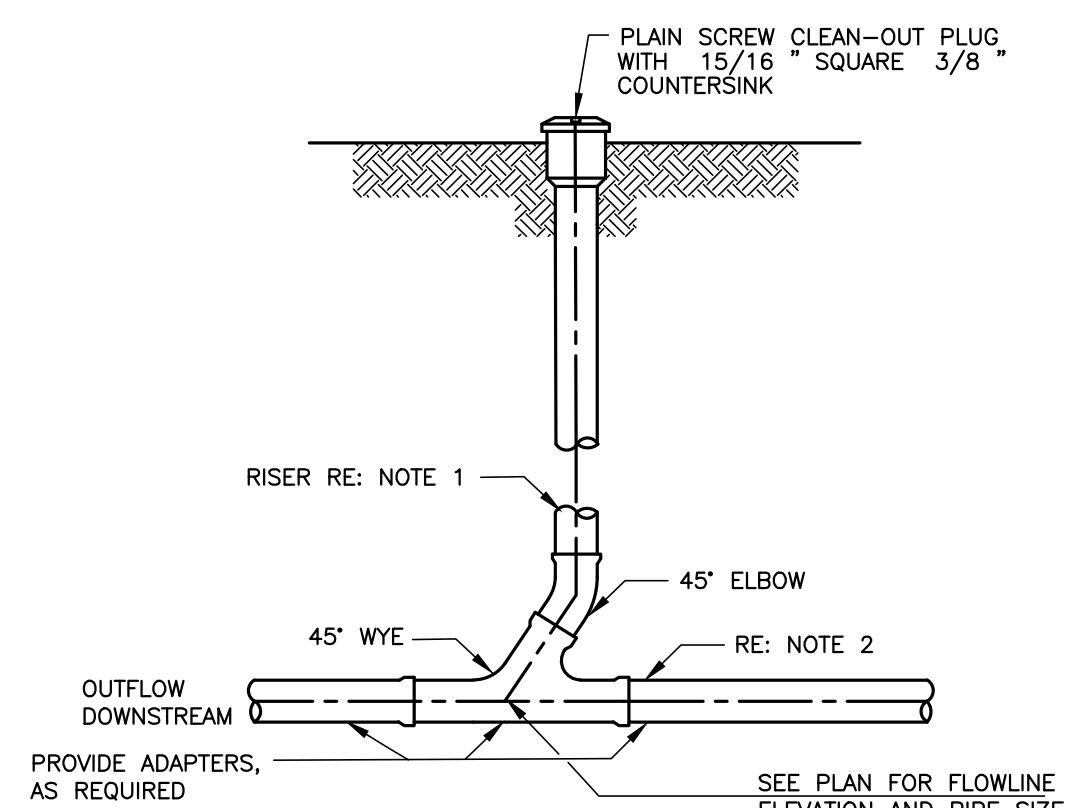
**HANDICAP ACCESS RAMP**

(N.T.S.)



**TRUNCATED DOMED HANDICAP RAMPS**

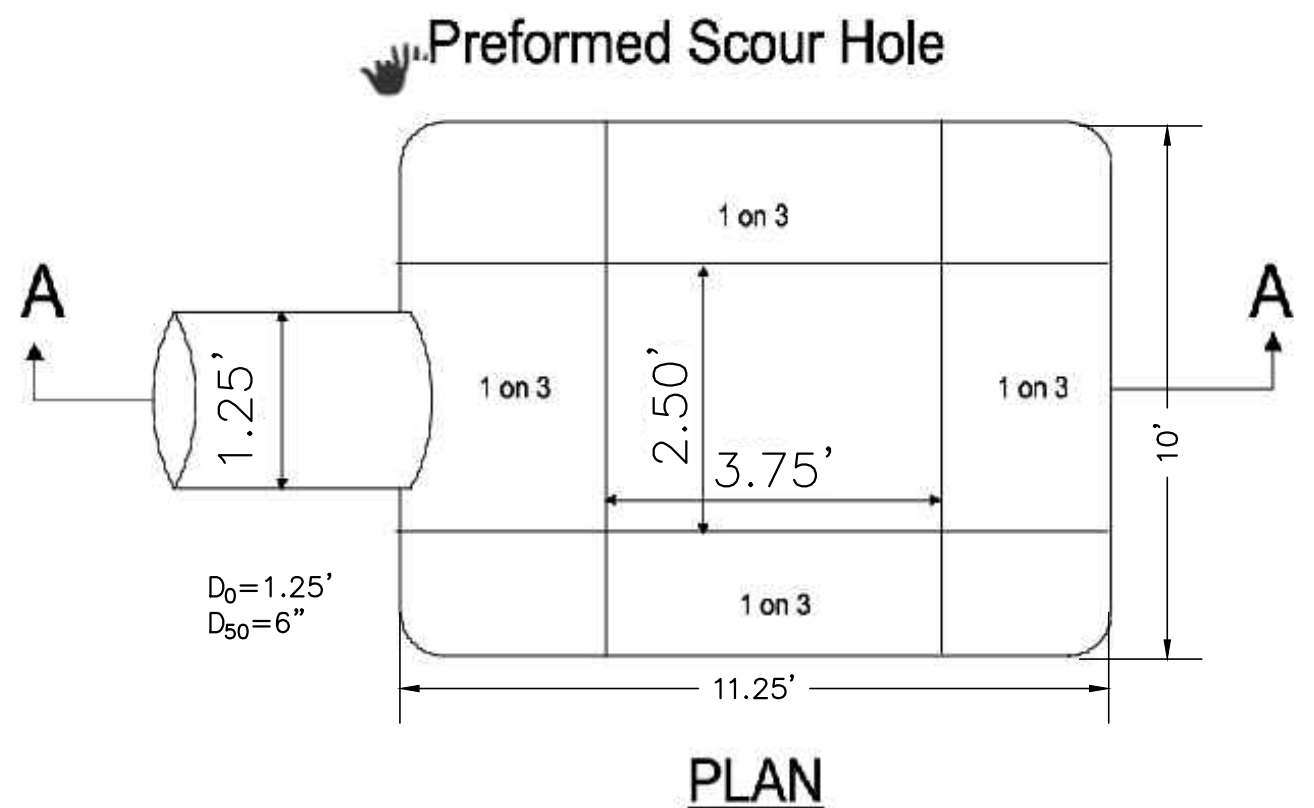
(N.T.S.)



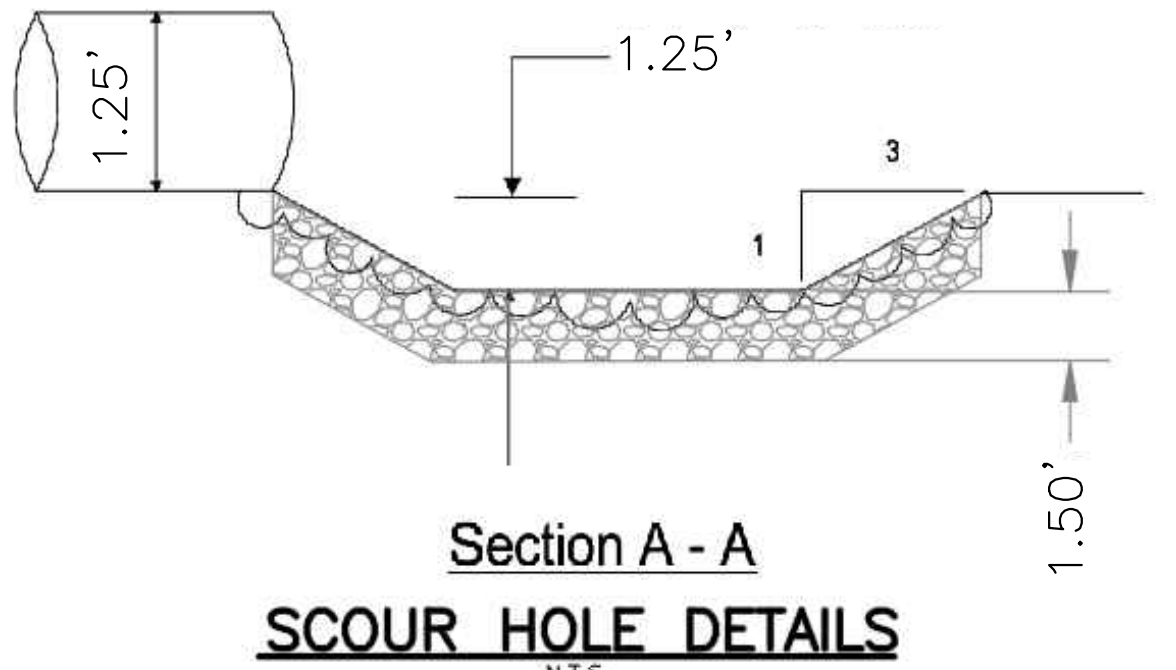
1. RISER DIAMETER TO MATCH DOWNSTREAM PIPE SIZE. MAXIMUM RISER DIAMETER IS 10" FOR STORM DRAIN, 6" FOR SANITARY SEWER.
2. WHERE LINE DOES NOT EXTEND, INSTALL A PLUG OR SUBSTITUTE A LENGTH OF STRAIGHT PIPE AND ANOTHER 45° ELBOW FOR WYE.
3. WYE, ELBOWS AND RISER TO BE SCH 40 PVC PIPE.

**TYPICAL CLEANOUT**

NOT TO SCALE

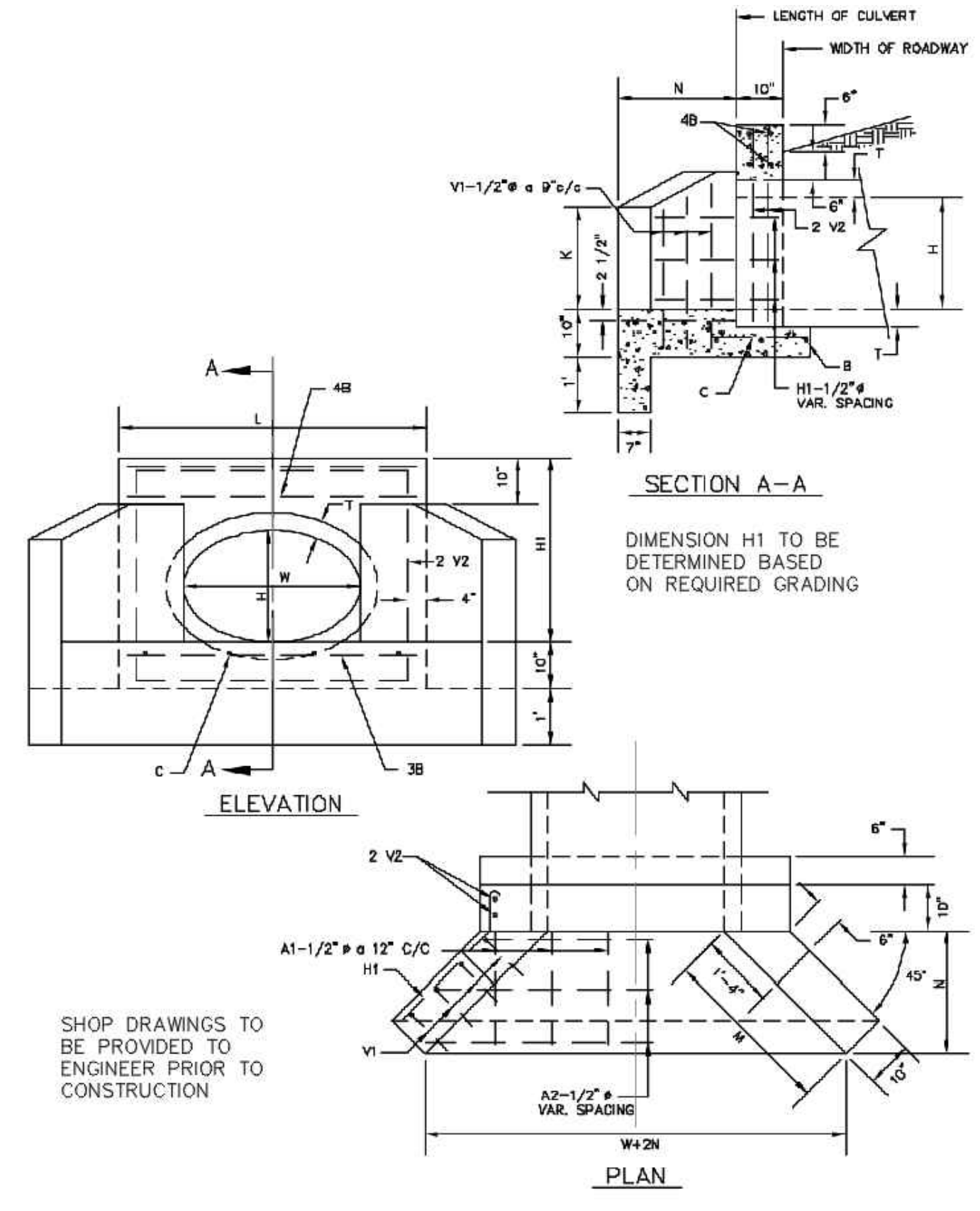


**PLAN**



**Section A - A SCOUR HOLE DETAILS**

(N.T.S.)



**SECTION A-A**

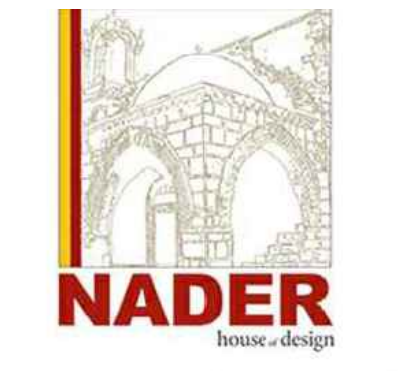
DIMENSION H1 TO BE DETERMINED BASED ON REQUIRED GRADING

**PRECAST HEADWALL DETAILS**

(N.T.S.)

(PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. SHOP DRAWINGS TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO FABRICATION.)

**BYRAM MUNICIPAL COMPLEX**  
 10 MANSFIELD DRIVE - BLOCK 365 LOT 16.01  
 BYRAM TOWNSHIP (TAX MAP SHEET #5)  
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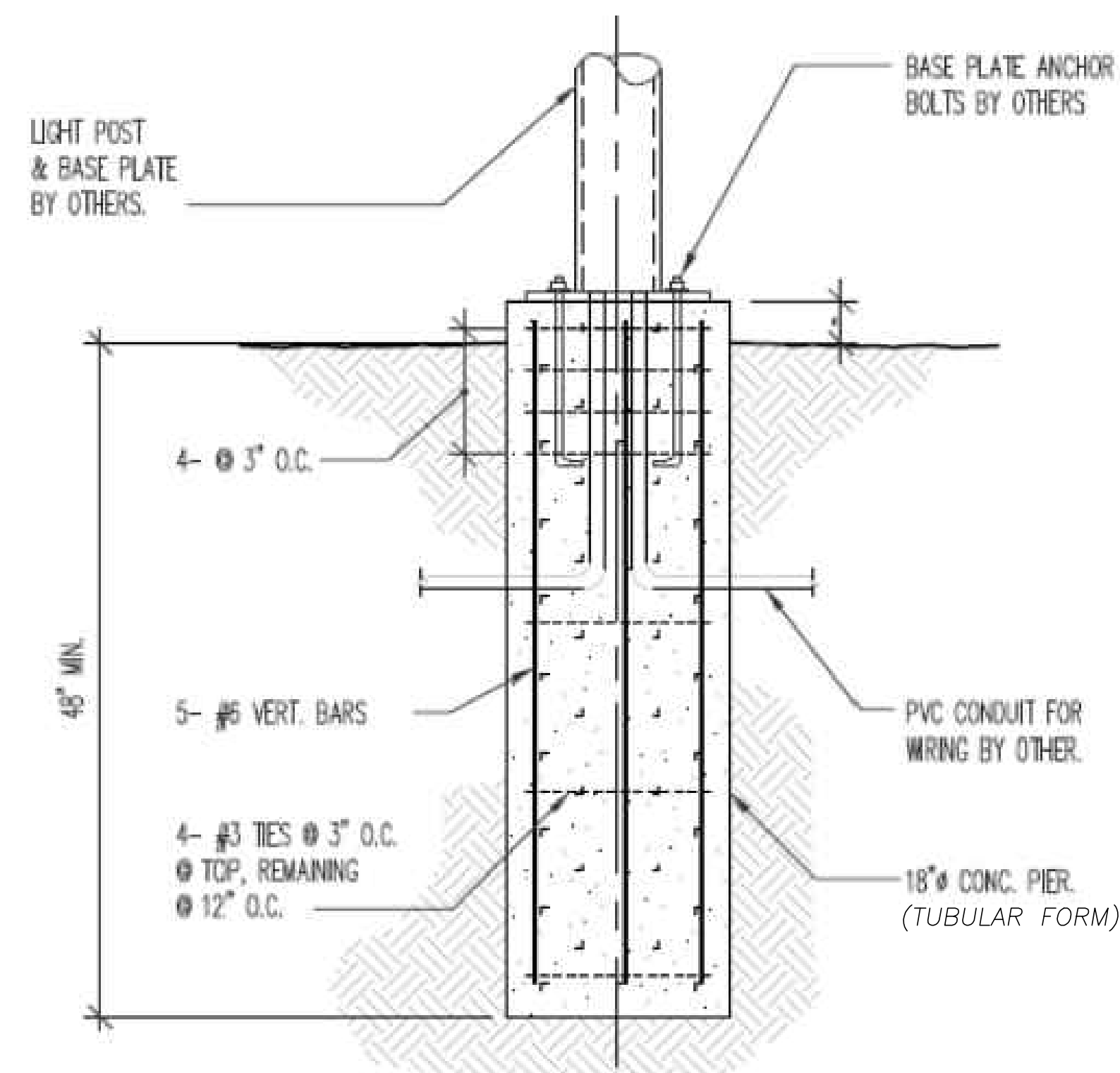
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DRW BY:	MC	
SCALE:	AS SHOWN	
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JOB No.	18.TNG029	

DETAILS

DRAWING No.  
**C-902**

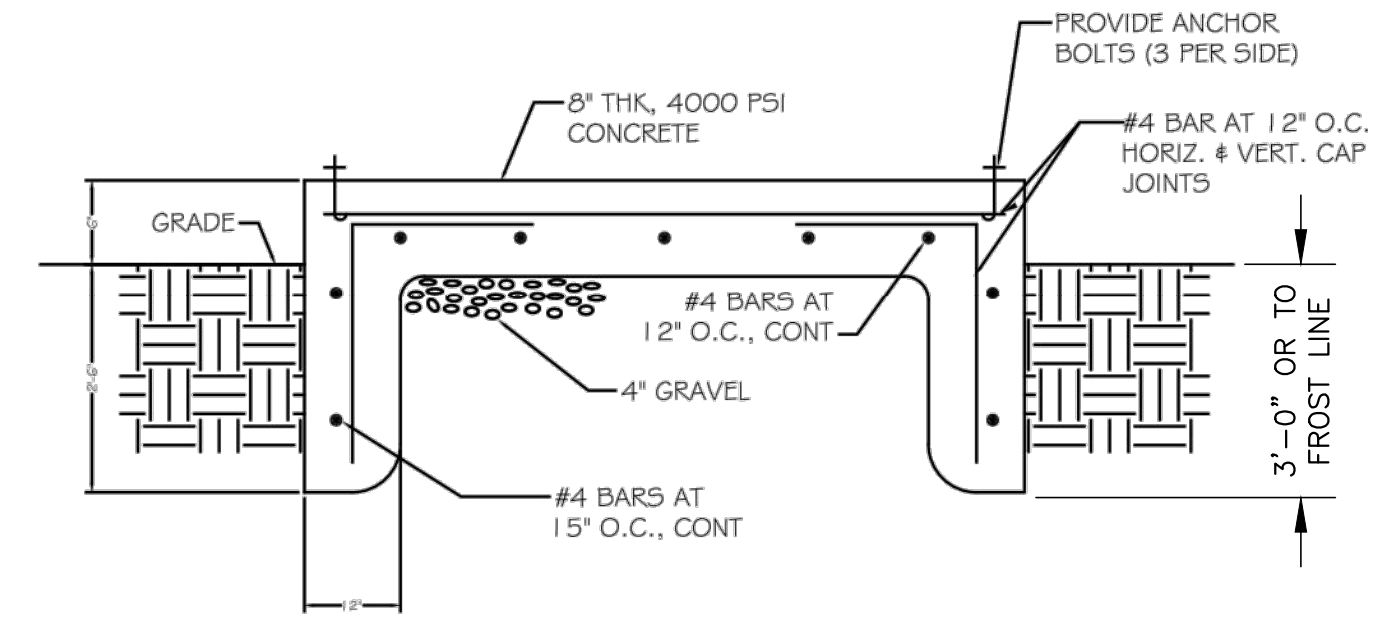




- NOTES:**
1. ASSUMED DESIGN SOIL BEARING VALUE = 2500 PSF
  2. ASSUMED DESIGN SOIL PASSIVE PRESSURE = 250 PCF
  3. ASSUMED DESIGN SOIL ACTIVE PRESSURE = 30 PCF.
  4. SEE CONTRACT DRAWINGS FOR ALL INFORMATION NOT SHOWN.
  5. PROVIDE 1/4" LEVELING PLATE W/ 3/4" NON SHRINK GROUT IF REQUIRED.
  6. EPOXIED STUDS MAY BE SUBSTITUTED FOR ANCHOR J-BOLTS.
  7. POLE FOOTING SHALL EXTEND 2' ABOVE GRADE IN TRAFFIC AREAS. ADJUST POLE HEIGHT TO MEET SPECIFICATION ON LIGHTING PLAN.

**LIGHT POLE FOOTING DETAIL**  
N.T.S.

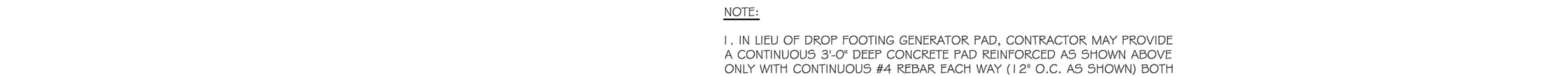
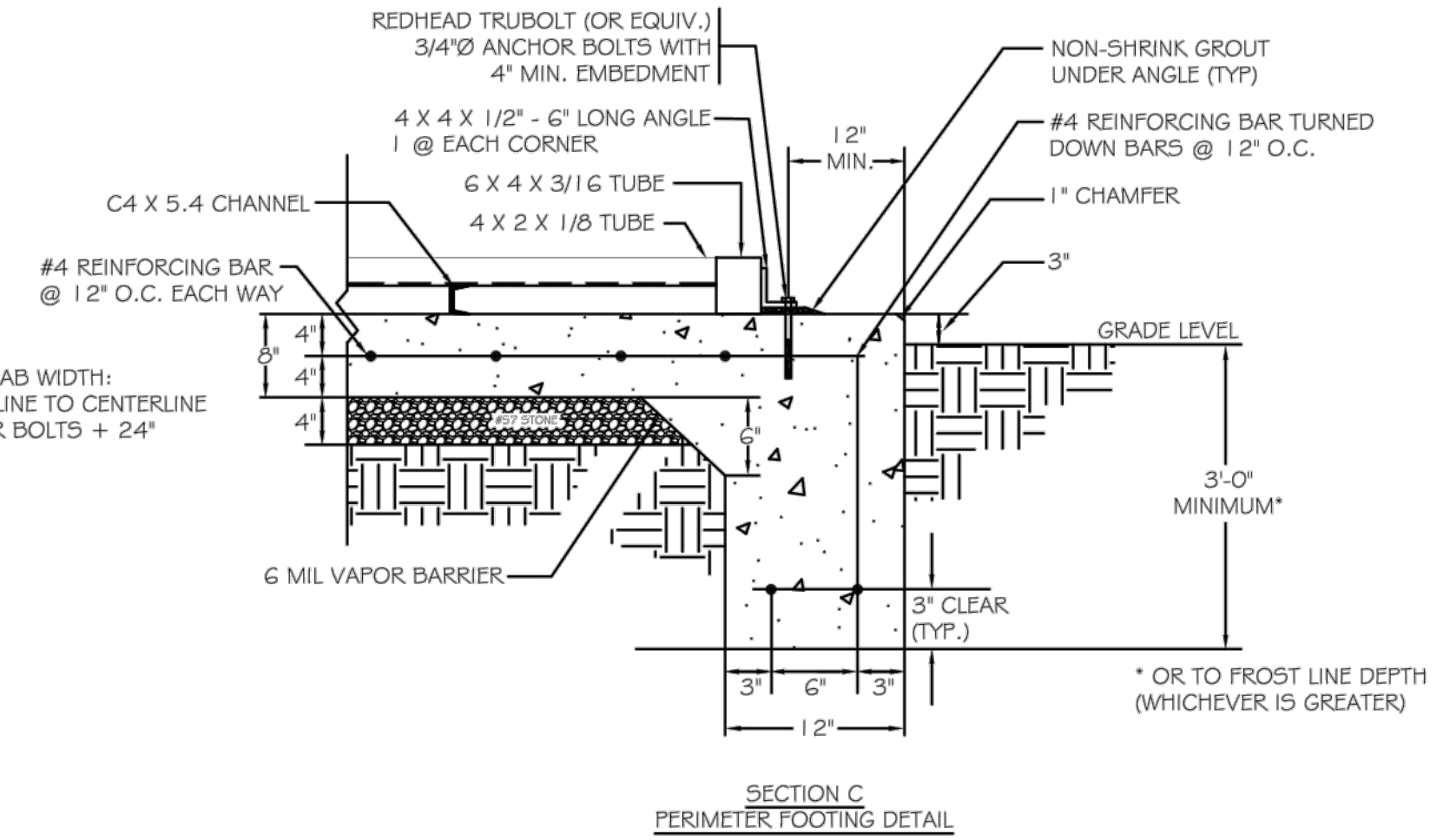
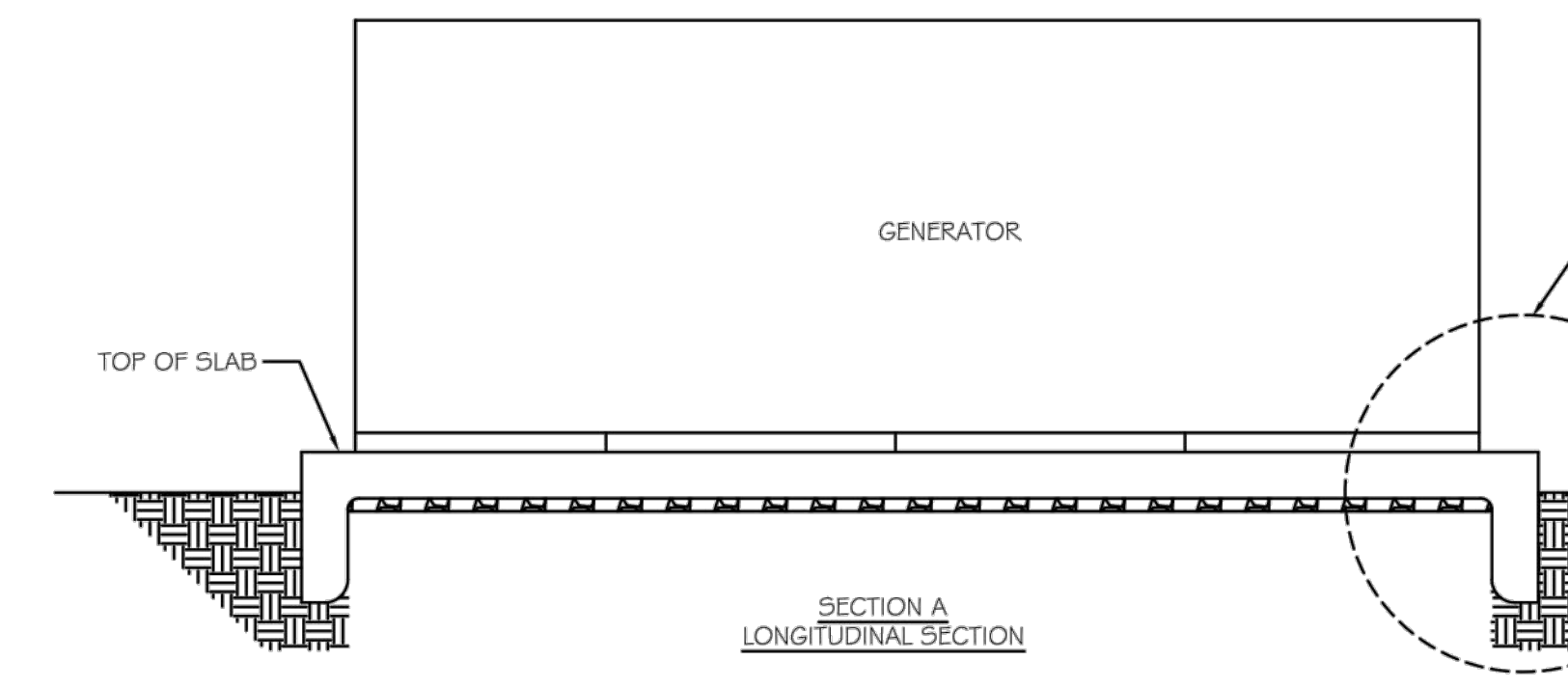
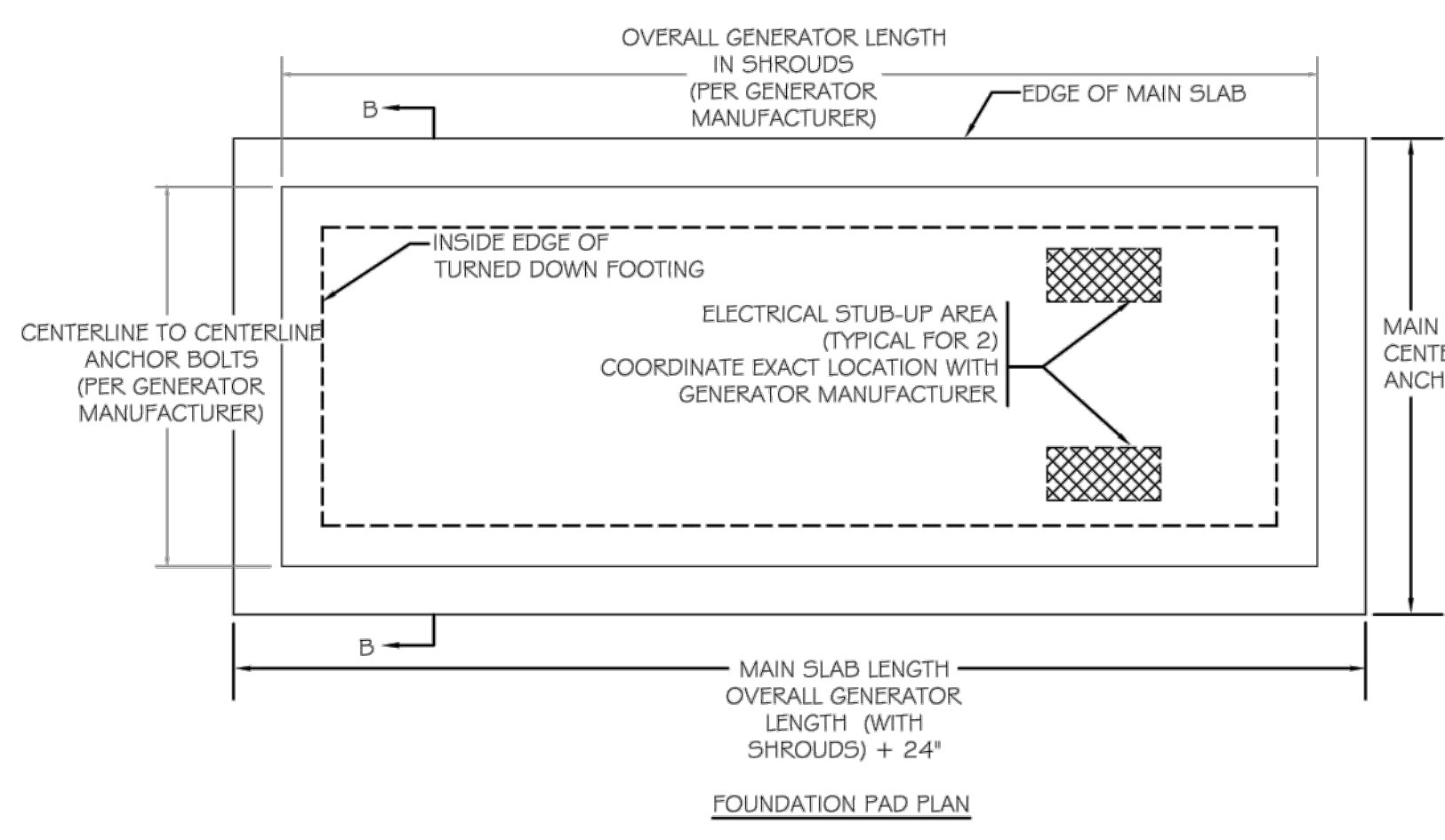
(SEE LIGHTING AND LANDSCAPE PLAN FOR FIXTURE SELECTION.)



- NOTES:**
1. FIELD VERIFY ALL UTILITIES BEFORE EXCAVATING
  2. LENGTH AND WIDTH OF PAD SHALL BE LENGTH OF ELECTRICAL EQUIPMENT + 12" IN BOTH DIRECTIONS
  3. STUB-UPS IN KEEPING WITH EQUIPMENT MANUFACTURER'S SPECIFICATIONS

**OUTDOOR CONCRETE PAD DETAIL**  
N.T.S.

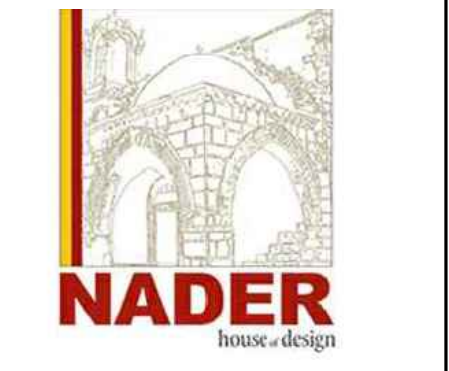
- CONCRETE NOTES:**
1. CONCRETE - ALL EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED FROM A MINIMUM 4% TO MAXIMUM 8%, ADMIXTURES CONTAINING CALCIUM CHLORIDES SHALL NOT BE ADDED TO THE CONCRETE. CONCRETE SHALL HAVE A 28-DAY CURE YIELDING A MINIMUM STRENGTH OF 4000 PSI.
  2. REINFORCING BARS - REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. LAP SPLICES SHALL BE A MINIMUM OF 20" IN LENGTH FOR #4 BARS.
  3. REINFORCING MESH - WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185 AND SHALL BE LAPPED A MINIMUM OF 6" AT SPLICES.
  4. CONCRETE SLABS - SLABS-ON-GRADE SHALL BE BUILT OVER A 4" LAYER OF #57 STONE AND OVER A 6 MIL POLYETHYLENE VAPOR BARRIER.
  5. SUBGRADE FOR FOOTINGS - FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL (OR TESTED CONTROL FILL) WITH A MIN. ALLOWABLE BEARING CAPACITY OF 2000 POUNDS PER SQ. FT.
  6. SUBGRADE FOR SLABS - SLAB-ON-GRADE SHALL BEAR ON NATURAL UNDISTURBED SOIL (OR TESTED CONTROL FILL) WITH A MIN. ALLOWABLE BEARING CAPACITY OF 2000 POUNDS PER SQ. FT. IF SLABS-ON-GRADE ARE LESS THAN 2'-0" ABOVE ACCEPTABLE UNDISTURBED SOIL, THEY MAY BE CONSTRUCTED ON UP TO 2'-0" OF COMPACTED AGGREGATE, SUCH AS #57 STONE, IN LIEU OF TESTED CONTROL FILL OR BEING DESIGNED AS STRUCTURAL SLABS.
  7. CONCRETE SLAB FINISHES - CONCRETE FINISH SHALL BE SMOOTH-TROWEL CLASS A (FLAT WITHIN 1/8" IN 10'-0") FOR FOUNDATION PAD. FOUNDATION PAD SURFACE SHALL BE LEVEL.
  8. CONSTRUCTION - CONCRETE MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE BUILDING CODE LISTED. SAWED CRACK CONTROL JOINTS SHALL BE CUT IN CONCRETE BETWEEN 8' AND 16' HOURS AFTER CONCRETE IS PLACED.
- FOUNDATION NOTES:**
1. THE FOUNDATION SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL CAPABLE OF SAFELY SUSTAINING 2000 PSF. THIS SHALL BE DESIGNED TO FULLY RESIST ALL ROTATION AT THE BASE OF THE BUILDING.
  2. SLAB ON GRADE SHALL BE PLACED ON WELL COMPACTED SOIL CAPABLE OF SUSTAINING 2000 PSF WITHOUT APPRECIABLE SETTLEMENT.
  3. THE MAIN SLAB WIDTH AND LENGTH SHALL BE THE CL TO CL OVERALL DIMENSIONS OF THE GENERATOR ENCLOSURE PLUS 24".
  4. PERIMETER FOOTING AS SHOWN SHALL BE ON ALL FOUR SIDES OF GENERATOR PAD.
  5. PROVIDE WINDOWS IN CONCRETE PAD COORDINATED WITH THE REQUIREMENTS OF THE GENERATOR MANUFACTURER FOR CONDUIT AND GAS PIPING.
  6. GAS PIPING SHALL NOT BE UNDER CONCRETE, IT SHALL BE BROUGHT UP OUTSIDE THE CONCRETE PAD AND ENTER THE GENERATOR FROM THE SIDE.



**GENERATOR CONCRETE PAD DETAIL**  
N.T.S.

- NOTE:**
1. IN LIEU OF DROP FOOTING GENERATOR PAD, CONTRACTOR MAY PROVIDE A CONTINUOUS 3'-0" DEEP CONCRETE PAD REINFORCED AS SHOWN ABOVE ONLY WITH CONTINUOUS #4 REBAR EACH WAY (12" O.C. AS SHOWN) BOTH AT ELEVATION 4" FROM FINISH SURFACE AND 4" FROM BOTTOM OF SLAB. TIE REBAR "MATS" TOGETHER WITH REINFORCING BAR TURNED DOWN AROUND ENTIRE PERIMETER AND THROUGH BOTH CENTER LINES OF SLAB. SLAB SHALL BE INSTALLED ON MINIMUM 4" OF #57 STONE COMPACTED.
  2. TYPICAL GENERATOR PAD MOUNT SHOWN. REFER TO GENSET MANUFACTURER'S DATA FOR EXACT REQUIREMENTS.

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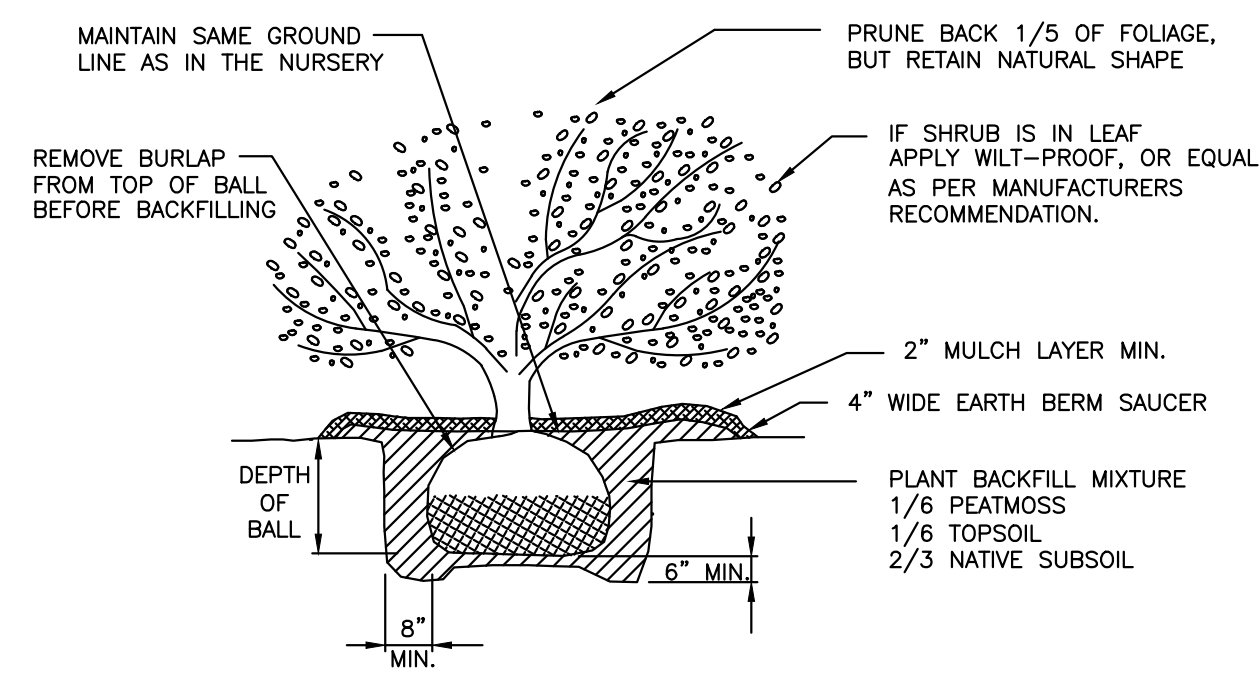
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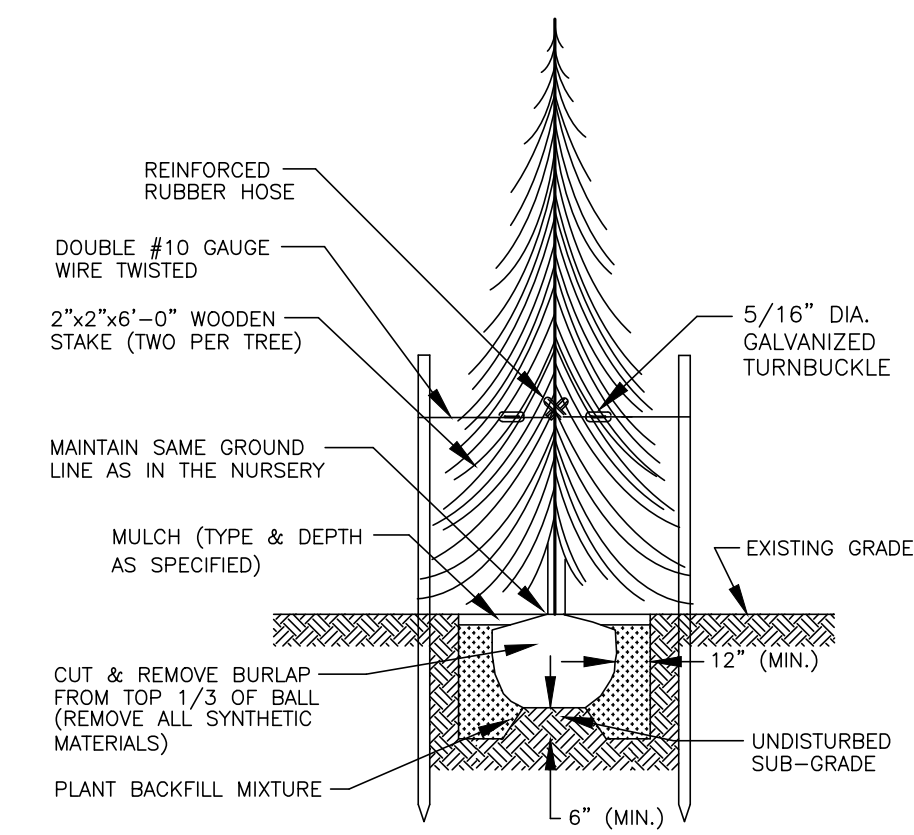
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DETAILS  
DRAWING No.  
**C-903**



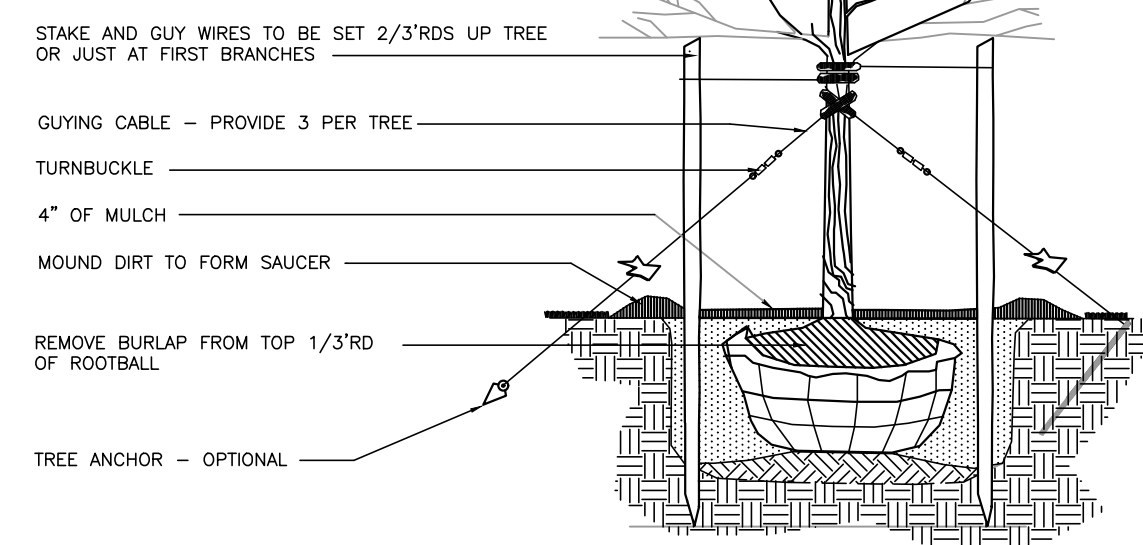


**SHRUB PLANTING DETAIL**  
N.T.S.

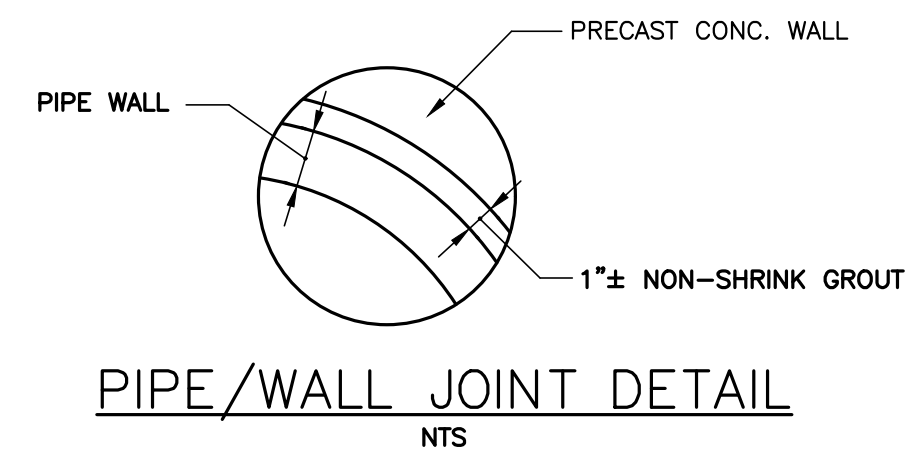


**EVERGREEN TREE PLANTING DETAIL**  
N.T.S.

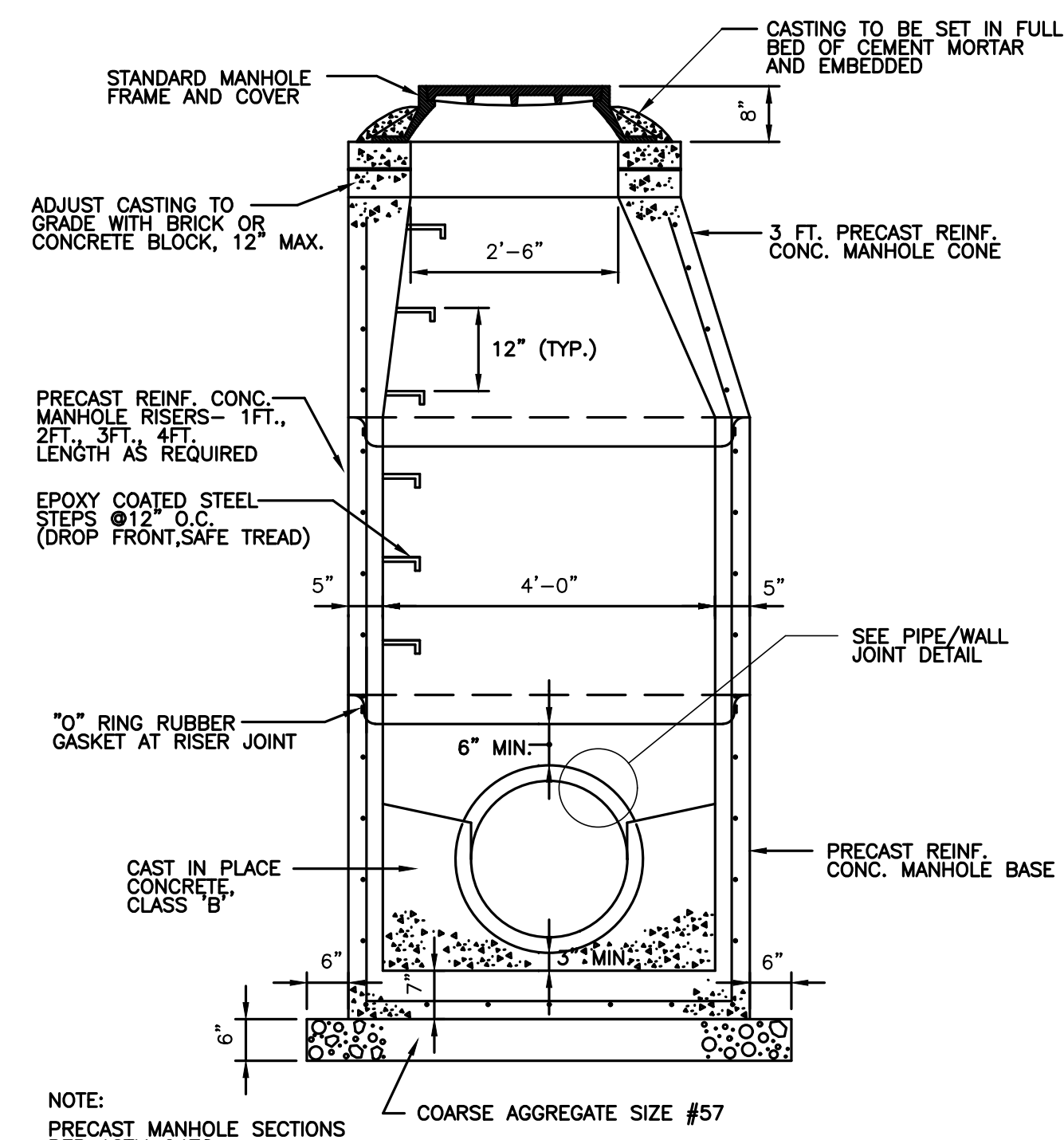
NOTES:  
ALL TREES UNDER 3" IN CALIPER SHALL BE STAKED  
ALL TREES 3" IN CALIPER AND GREATER SHALL BE GUYED  
ALL TREES SHALL BE PRUNED TO THIN AND SHAPE CANOPY.  
DO NOT CUT CENTRAL LEADER. SEE PRUNING DETAIL.  
TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE  
SET STAKES VERTICAL AND AT SAME HEIGHT



**TREE PLANTING DETAIL**  
N.T.S.



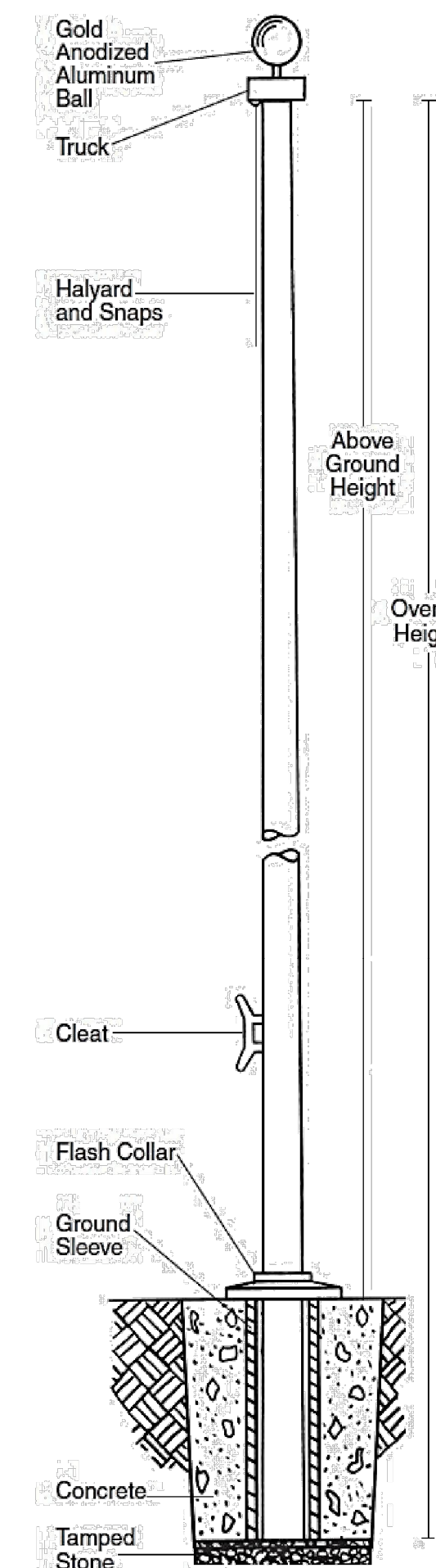
**PIPE/WALL JOINT DETAIL**  
NTS



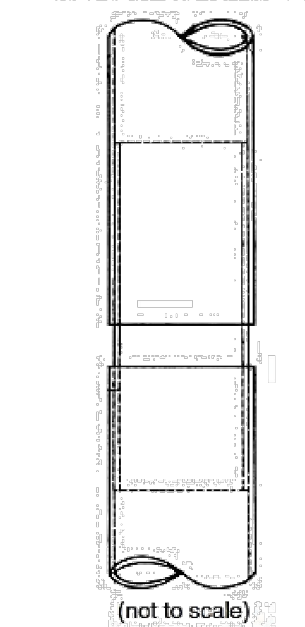
**MANHOLES, PRECAST**  
SCALE: NTS



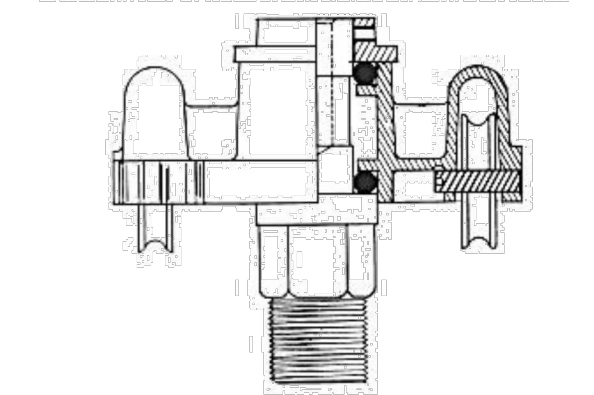
**Aeolus Series**  
External Groundset  
20X - 80X



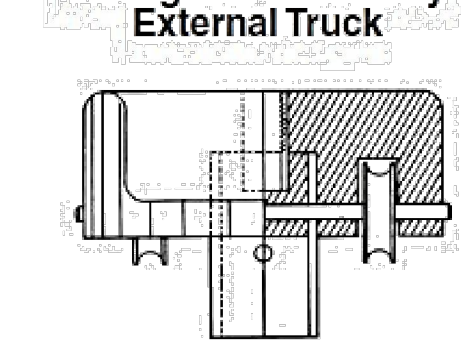
Field Splice Detail



Aluminum Revolving External Truck



Fiberglass Stationary External Truck



Model	20X	25X	30X	35X	40X	50X	60X	70X	80X
Above Ground Height	20'	25'	30'	35'	39'	50'	60'	70'	80'
Overall Height	23'	28'	33'	39'	43'	55'	66'	77'	88'
Butt Diameter	5.75"	6"	6.75"	7"	7"	10"	10.5"	16"	16.5"
Top Diameter	3"	3"	3"	3"	3"	4.5"	4.5"	7"	7"
Pole Weight (lbs.)	36	59	77	115	137	325	480	807	1108
Shipping Weight (lbs.)	105	113	151	197	219	559	783	1336	1648
Ground Sleeve I.D.	8"	8"	8"	8"	8"	14"	14"	21"	21"
Ground Sleeve Length	3'	3'	3'	4'	4'	5'	6'	7'	8'
Cleat	8.5" NY	8.5" NY	8.5" NY	8.5" NY	8.5" NY	10"AL	10"AL	10"AL	10"AL
Ball Diameter	5"	5"	6"	6"	8"	10"	10"	12"	12"
Halyard	#10	#10	#10	#10	#10	#12	#12	#12	#12
Flash Collar	16"	16"	16"	16"	16"	23"	23"	30"	30"
Truck	F/G	F/G	F/G	F/G	F/G	AL-Rev	AL-Rev	AL-Rev	AL-Rev
Snaps	Brass	Brass	Brass	Brass	Brass	S/S	S/S	S/S	S/S
Standard Flag Size	4'x6'	4'x6'	5'x8'	5'x8'	6'x10'	8'x12'	10'x15'	12'x18'	12'x18'

**NOTES:**

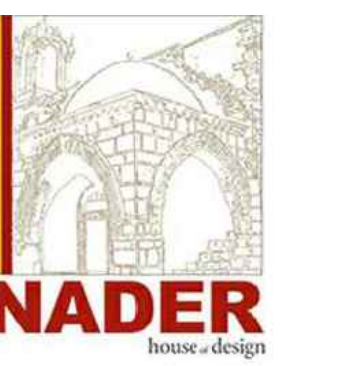
- MODEL 30X TO BE USED OR APPROVED EQUAL.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS AND DETAILS PRIOR TO CONSTRUCTION
- FOOTING DESIGN CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF FLAG POLE.

**FLAGPOLE DETAIL**

N.T.S.

PROVIDE DENEVE 'SOLAR DAISY' SOLAR FLAG POLE LIGHT OR APPROVE EQUAL

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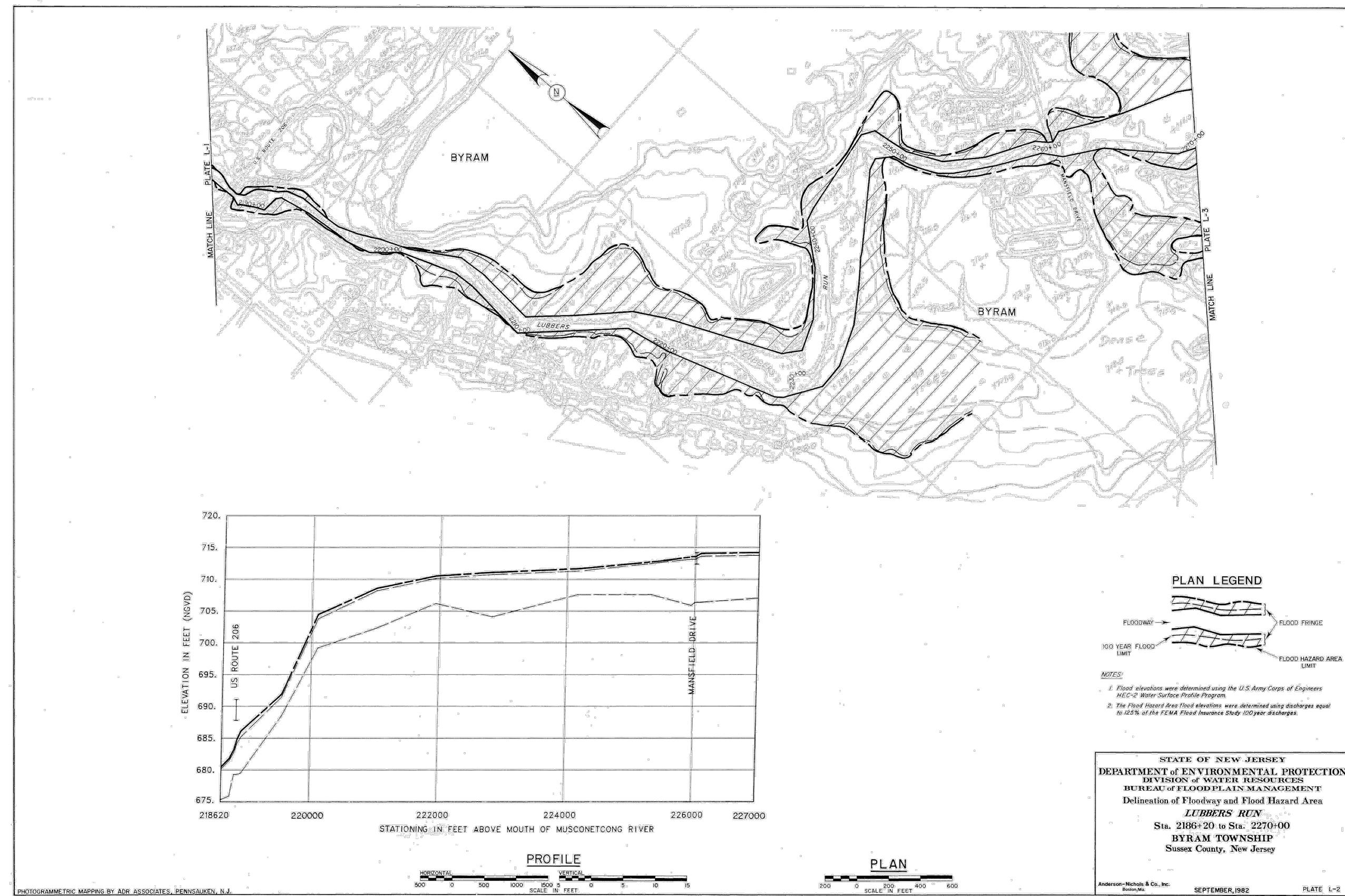
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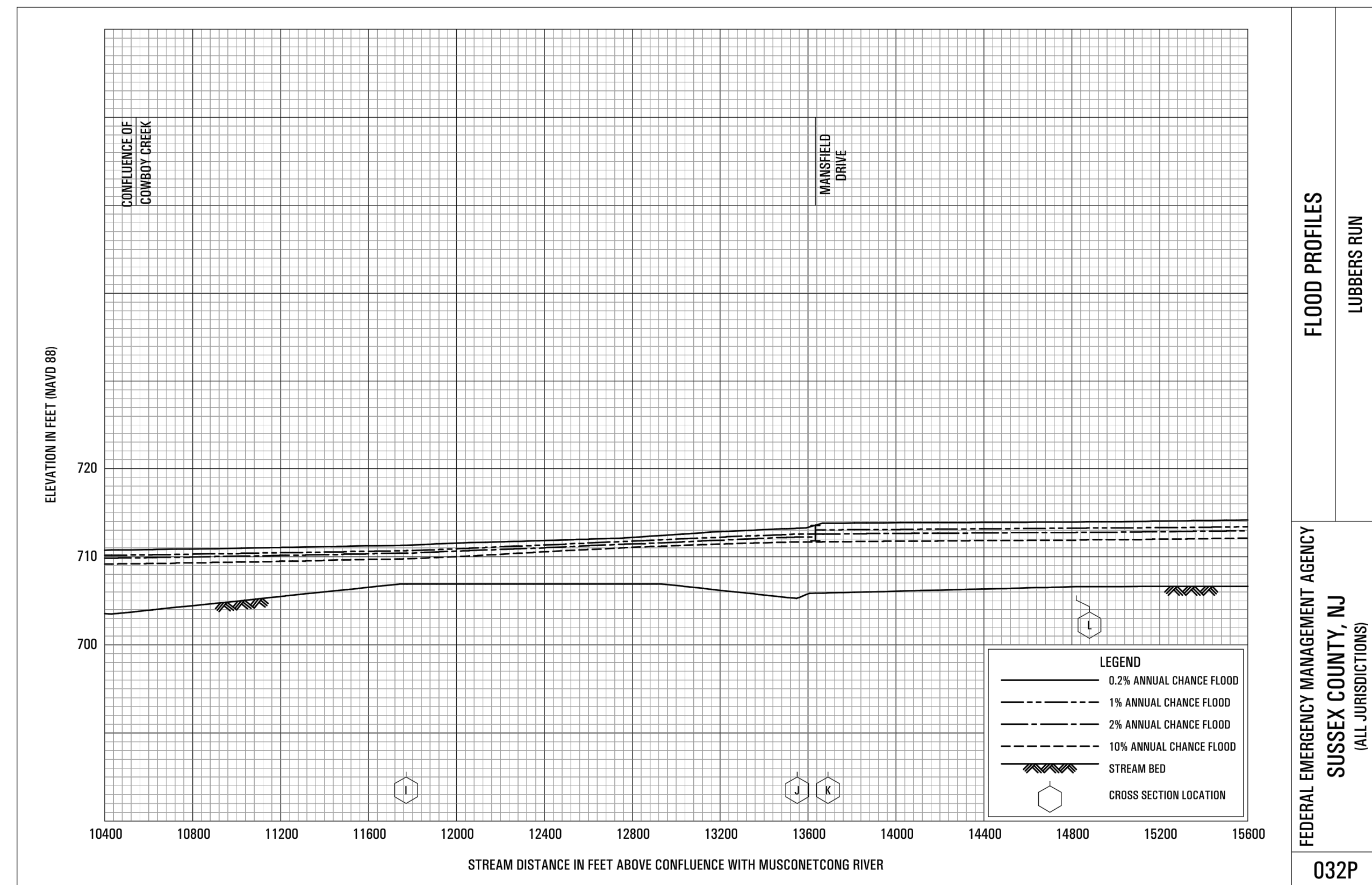
DRAWING No.  
**C-904**





NJDEP PROFILE - FHADF DATUM CONVERSION		
STATION	NGVD29	NAVD88
226000	713.5	712.8
225900	713.5	712.8
225800	713.0	712.3
225700	713.0	712.3
225600	713.0	712.3
225500	712.8	712.1
225400	712.5	711.8
225300	712.5	711.8
225200	712.5	711.8
225100	712.4	711.7
225000	712.3	711.6

1" = 1000' VERTICAL  
1" = 10' HORIZONTAL



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FLOOD  
DELINEATION  
PROFILE  
DRAWING No.  
**C-905**



IT'S THE LAW - NEW JERSEY ONE CALL  
DIAL 811  
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FOR FREE SERVICES TO LOCATE UNDERGROUND UTILITIES